

SUBMITTED BY:

Carmody Lawn Services
CONTRACTOR'S NAME

211 S. Fourth St.
CONTRACTOR'S ADDRESS

Dunlap, IL 61525 CITY, STATE, ZIP

STATE OF ILLINOIS

CITY OF PEORIA

COUNTY OF PEORIA

SPECIFICATIONS, PLANS, MATERIAL QUANTITIES AND CONTRACT PROPOSAL

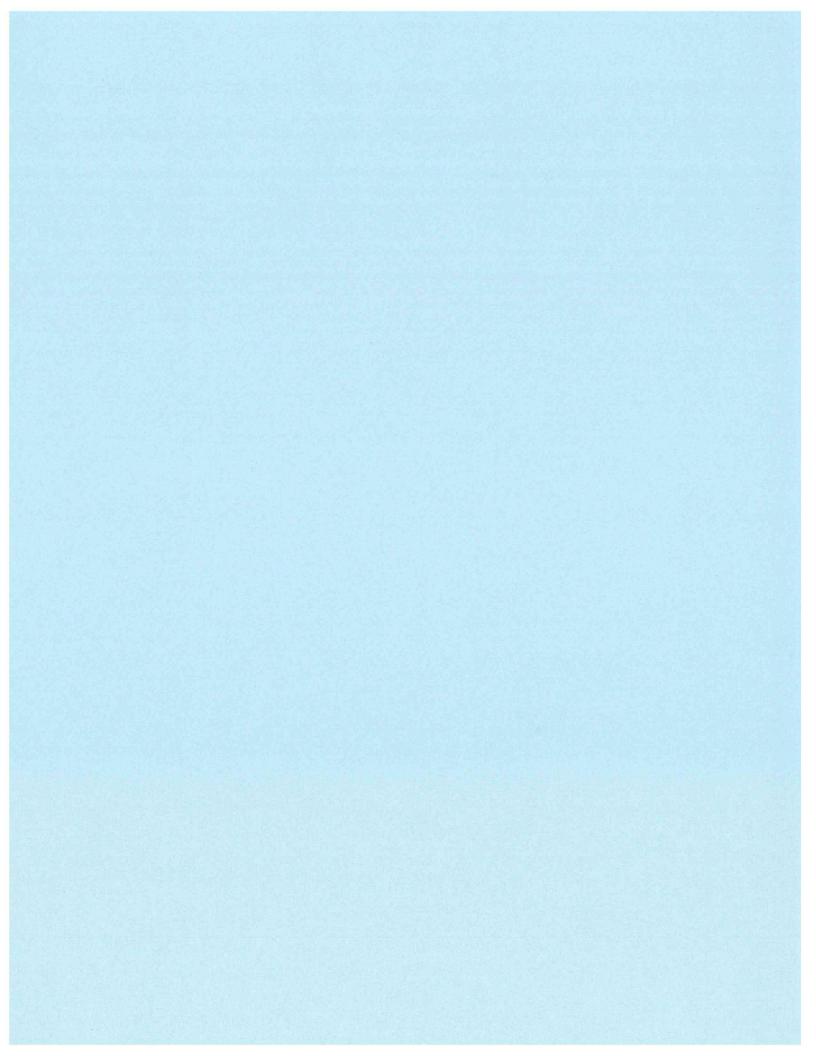
FOR

VACANT LOT MOWING – Route(s) #4

TO BE CONSTRUCTED UNDER THE PROVISIONS OF THE CITY OF PEORIA

RFP Responses Due: Thursday, March 4, 2021 at 10:00 AM AWARDED by CITY COUNCIL: March 23, 2021 Item #21-084

Sie Maroon, Superintendent of Operations



CITY OF PEORIA NOTICE OF REQUEST FOR PROPOSALS:

VACANT LOT MOWING

Multiple Locations
PEORIA, ILLINOIS

STATEMENTS DUE: 10:00 AM Thursday, March 4, 2021

The City of Peoria is requesting Proposals from lawn care professionals to mow and maintain the City- and County Trustee-owned vacant lots in the City of Peoria. The Peoria Public Works Department will accept sealed Proposals submitted to the Deputy Director of Operations, 3505 North Dries Lane, Peoria, Illinois, 61604 until 10:00 a.m. Thursday, March 4, 2021 for establishing a contract with a qualified team.

A Pre-Bid meeting will be held on Friday, February 19, 2021 at 10:00 AM at Peoria City Hall, 419 Fulton Street, Room #400, Peoria, IL 61602.

Time is of the essence and any Proposals received after the announced time and date for submittal, whether by mail or otherwise, will be rejected. Teams are responsible for ensuring that the PW/Operations Administrative Assistant receives their Proposals before the deadline indicated. Proposals received after the announced time and date of receipt, by mail or otherwise, will be returned unopened. Teams should submit five (5) hard copies of a sealed Proposal.

1.0 INSTRUCTIONS TO PROPOSERS

1.1 ACCEPTANCE OF PROPOSALS

The right is reserved, as the interest of the City may require, to reject any or all Proposals and to waive any non-material informality or irregularity in the responses received. All such responses will be in English. The City will select a Proposer as described below, or reject all Proposals, within sixty (60) calendar days from the date the responses are opened.

1.2 ADDITIONAL COPIES OF RFP

Additional copies of the RFP are available on the City's website: www.peoriagov.org

1.3 RFP ENVELOPE IDENTIFICATION

Proposers shall submit their response in a sealed envelope which shall be clearly labeled with the organization/individual name and address. Proposers should also indicate "VACANT LOTS, CITY OF PEORIA. Request #06-21" in the LOWER LEFT HAND CORNER OF THEIR ENVELOPE.

1.4 MAILING OF PROPOSALS

One (1) original and four (4) copies of all responses are to be mailed or delivered to the City of Peoria Public Works Department, Attention: Deputy Director of Operations, 3505 N Dries Lane, Peoria, Illinois, 61604. Proposals will not be accepted by FAX, e-mail, internet, telephone or telegraphic means.

1.5 CLOSING TIME

The Proposal closing time will be based upon Central Standard Time or Central Daylight Time, whichever is in effect on the date the proposal is due.

WITHDRAWAL OF PROPOSALS 1.6

Proposers may withdraw their Proposals at any time prior to the RFP closing time by telephone, fax or written request. A telephone request must be confirmed in writing within 24 hours of the call and prior to closing time. No Proposer shall withdraw his/her Response for a period of sixty (60) calendar days after the RFP opening date. Negligence on the part of the Proposer in preparing a Response confers no right of withdrawal or modification of a Proposal after it has been opened. No response will be opened which has been received after the closing time specified in the RFP document and will be returned unopened to the Proposer.

ALTERNATE RESPONSES 1.7

The RFP describes the service and level of experience/expertise, which the City deems necessary to meet the performance requirements of the City. Proposers desiring to submit a response on items which deviate from these specifications, but which they believe to be equivalent, are requested to submit alternate responses. However, ALTERNATE TENDERS MUST BE CLEARLY INDICATED AS SUCH AND DEVIATIONS FROM THE APPLICABLE SPECIFICATIONS PLAINLY NOTED. The response must be accompanied by complete specifications of the items offered.

AWARD <u>1.8</u>

An award will be made to the lowest qualified (responsive and responsible) Proposal that complies with the terms and conditions of the specifications provided that it is in the best interest of the City to accept the Proposal. Awards will be made on a per item basis unless otherwise stated. The quality of the articles to be supplied, their conformity with specifications, their suitability to the requirements of the City, past performance (if applicable) and the delivery terms will all be taken into consideration in making the award.

1.9 COSTS

Unit costs must be clearly identified for each route requested by the RFP document or otherwise submitted by the Proposer. All costs shall be stated in U.S. dollars. In case of mistake in extension of cost, unit cost shall govern. All costing must be typewritten or written in ink. No erasures are permitted. Mistakes must be crossed out and corrections typewritten or written in ink adjacent thereto and initialed in ink by the party signing the Proposal or his/her/its authorized representative.

<u>1.1</u>0 **SIGNATURES**

Each Proposal must be signed by the Proposer with his/her usual signature. Proposals by partnerships must be signed with the partnership name by one of the members of the partnership, or by an authorized representative, followed by the signature and title of the person signing. Proposals by corporations must be signed with the name of the corporation, followed by the signature and title of person authorized to bind it on the matter. All signatures must be in ink.

By signing and submitting the response to this document, the Proposer/Vendor/Contractor/ Consultant is certifying he/she/it has not been barred from bidding by Federal, State or Local governments nor has been suspended or debarred from receiving federal funding.

INVESTIGATION <u>1.11</u>

Proposer shall make all investigations necessary to thoroughly inform himself/herself/itself regarding the supplies and/or service to be furnished in accordance with the RFP. No plea of ignorance by the Proposer, of conditions that exist or that may hereafter exist as a result of failure or omission on the part of the Proposer to make the necessary examinations and investigations, will be accepted as a basis for varying the requirements of the City or the compensation to the Proposer.

1.12 SAMPLES

Samples of items, when required, must be submitted within the time specified, at no expense to the City; and if not destroyed in testing, will be returned at the Respondent's request and expense. Samples which are not requested for return within thirty (30) days will become City property.

1.13 RESPONSES

A response is requested of all Proposers on all routes on the pricing sheet, even if it is a "no response" for routes for which the Proposer does not want to be considered.

1.14 PROPOSAL PROCESS

This process does not obligate the City to award a contract, or pay any cost incurred by Proposers/Contractors/Vendors responding to this RFP. The City reserves the right to accept or reject any or all responses. All information submitted in response to this request will become City property.

Please be aware that it is the City's policy to not compensate a Proposer for any time or expenses incurred during the selection and negotiation processes.

1.15 EEO

To be <u>awarded</u> a contract, all Proposers/Vendors/Contactors to the City of Peoria must be registered in the City of Peoria's Contract Compliance Program and have a current EEO Certification number. This program is unrelated to any State or Federal program.

The number is secured by completing and submitting, under notary seal, an Employer report form CC-1 (with required sexual harassment policy attached) to the City's Equal Opportunity Office. Please note that the Certificate of Compliance is valid for one year and must be renewed annually. The form may be downloaded from the City's website (www.peoriagov.org). Click on Department Focus, Equal Opportunity Office, Forms, then select "Employer Report" or "Renewal." The forms can also be obtained by writing or calling:

City of Peoria Equal Opportunity Office 419 Fulton Street Peoria, IL 61602 (309) 494-8530 Voice (309) 494-8532 TTY

In accordance with Chapter 17 of the Peoria Municipal Code, a fifty-dollar (\$50.00) processing fee will be charged with each original submission of the Employer Report Form CC-1 that results in an approved Certificate as well as the Annual Renewal Application. The only exception to payment of the processing fee is neighborhood associations.

Although all Proposers/Suppliers/Contractor/Vendors are encouraged to obtain Equal Employment Opportunity Certification, vendors do not need an Equal Opportunity Certification to respond to a submittal. The EEO Certification Number is only required prior to the award of the contract.

EEO CERTIFICATION* (Check one):

______We are presently applying for the EEO Certification. Employer Report Form (Form CC-1) is completed and enclosed.

Presently, we have the Employer Report Form (Form CC-1) on file with the City of Peoria, Office of Equal Opportunity and have a current Certificate of Compliance Number.
Certificate of Compliance Number:
*Please note there is a \$50.00 processing fee for both new and renewal certification requests.

1.16 GOOD FAITH EFFORT REQUIREMENTS (projects exceeding \$50,000)

> Minority/Women Business Enterprise (M/WBE) Utilization

Bidders must demonstrate that they made good faith efforts to meet participation goals. Documentation supportive of their good faith efforts to utilize M/WBEs must be submitted at the time of bid. For details on what records are required, see M/WBE Participation Requirements for Good-Faith Efforts, Section III.

> Compliance Reporting Minority/Female Worker Utilization

The Proposer/Vendor/Contractor and its subcontractors must provide to the City of Peoria documentation on their good faith efforts to comply with the workforce participation goals. This would include, but not be limited to, weekly certified payroll reports. All information will be provided through ePrismSoft, an electronic web-based compliance tracking software. Access to ePrismSoft has been furnished by the City of Peoria. To activate access, the Proposer/Vendor/Contractor and subcontractors must register at www.eprismsoft.com. Use the help page, which is accessible before logging in, to get started. If needed, contact the Contract Supervisor for help.

1.17 PREVAILING WAGES

Work under this contract is not subject to the provisions of The Prevailing Wage Act, 820 ILCS 130/0.01.

2.0 CONTRACT TERMS

2.1 TAXES

The City is exempt, by law, from paying State and City Retailers Occupation Tax, State Service Occupation Tax, State Use Tax and Federal Excise Tax. The City will execute tax exemption certificates whenever required. The unit prices should be exclusive of all taxes. In the event the unit price includes taxes, the Proposer must show the amount of tax included in the unit price.

2.2 CITY'S AGENT

The City of Peoria's Public Works Deputy Director of Operations or his/her designee shall represent and act for the City in all matters pertaining to the RFP and contracts in conjunction thereto.

2.3 PATENTS

The successful Proposer agrees to protect, defend and save the City harmless against any demand for payment for the use of any patented material process, article or device that may enter into the manufacture, construction or form a part of the work covered by the contract.

2.4 HUMAN RIGHTS ACT

The contract will be subject to and governed by the rules and regulations of the Illinois Human Rights Act 775ILCS5/1-101 et seq. and as amended and the provision of Chapter 775 of the Illinois Compiled Statutes 5/2-105 on Sexual Harassment policies.

2.5 NON-COLLUSION

With the executing of this RFP, the Proposer is certifying to non-collusion in the preparation and submittal. The response must be properly executed by the Proposer or the response will not be considered for selection.

2.6 DEFAULT

In case of default by the Contractor, the City will procure the articles or services from other sources and hold the Contractor responsible for any excess cost incurred.

2.7 CANCELLATION

The City reserves the right to cancel the whole or any part of the contract if the Contractor fails to perform any of the provisions in the contract or fails to make delivery within the time stated. The cancellation notice will be written and delivered by Certified Mail to Contractor's address on record. In the event the contract is canceled, the Vendor may be declared an irresponsible Vendor by the City Manager and, as a result, may be disqualified from doing business with the City for the period of one year in accordance with City Ordinance Section 10-102. The Contractor will not be liable to perform if situations arise by reason of strikes, acts of God or the public enemy, acts of the City, fires or floods.

2.8 PRICES SPECIFIED

The successful Vendor agrees to furnish the material or services according to the City's plans, specifications and conditions and at prices specified herein.

2.9 DELINQUENT PAYMENT

By the signing of this RFP, the Proposer is certifying that the company is not delinquent in the payment of any indebtedness, tax, fee, liens or fines owed or accruing to the City of Peoria or in the payment of any tax administered by the Illinois Department of Revenue, and is in compliance with the terms and conditions of Section 10-109 of the Peoria City Code; and Chapter 65 of the Illinois Compiled Statutes, Section 5/11-42.1-1.

2.10 PERMITS AND LICENSES

The successful Proposer shall obtain, at his/her/its own expense, all permits and licenses which may be required to complete the contract.

2.11 INSURANCE

The successful Proposer shall obtain, at his/her/its own expense, all necessary and current insurance with regard to its fiduciary responsibility to the City of Peoria. Said Proposer shall indemnify and hold harmless the City of Peoria, its officials, officers, directors, employees, heirs and assigns from any and all actions, claims, demands or suits at law or equity for damages, costs, loss or other injury as a result of the contract.

The City does not assume any liability for acts or omissions of Contractor and such liability rests solely with Contractor.

Contractor's Insurance – The Contractor and all subcontractors shall secure and maintain such insurance policies as will protect the Contractor or subcontractors from claims for bodily injuries, death or property damage which may arise from operations under this Contract whether such operations be by Contractor or anyone employed by Contractor directly or indirectly. The following insurance policies are required:

Statutory Worker's Compensation

Comprehensive General Liability
Combined Single Limit \$1,000,000.00
Property Damage \$1,000,000.00

Automobile Public Liability and Property Damage
Combined Single Limit \$1,000,000.00
Property Damage \$1,000,000.00

Insurance Inclusions – The Comprehensive General Liability insurance shall include independent Contractors' protective liability, products and completed operations broad form property damage coverage. The completed operations and products liability shall be maintained for two (2) years after final payment.

Contractual Liability – The insurance required above shall include contractual liability insurance coverage for the Contractor's obligations under the section below entitled, "Hold Harmless and Indemnification Agreement."

Certificates of Insurance – Certificates of Insurance acceptable to the City indicating insurance required by the Contract is in force shall be filed with the City prior to contract approval by the City. These certificates shall contain a provision that coverage afforded under the policies will not be canceled until at least thirty (30) days prior written notice has been given to the City.

2.12 PRECEDENCE

Where special conditions are written in the specifications, these conditions shall take precedence over any conditions listed under the "Instructions to Proposers."

2.13 GOVERNING

This contract will be governed by the laws of the State of Illinois. The Proposer/Contractor/Vendor agrees that Chapter 10 of the Code of the City of Peoria is hereby incorporated by reference, as if set out verbatim.

2.14 AFFIRMATIVE ACTION REQUIREMENTS

The Proposer/Contractor/Vendor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual harassment, ancestry, national origin, place of birth, age or a physical or mental handicap which would not interfere with the efficient performance of the job in question. The Proposer/Contractor/Vendor will take affirmative action to comply with the provision of this division and will require any subcontractor to submit to the City written commitment to comply with this division. The Proposer/Contractor/Vendor will distribute copies of this commitment to all persons who participate in recruitment, screening, referral and selection of job applicants, prospective job applicants, member or prospective subcontractors.

The Contractor/Vendor agrees that the provision of Division 4 of Article III of Chapter 17 of the Code of the City of Peoria is hereby incorporated by reference, as if set out verbatim.

2.15 EMPLOYEE EMPLOYMENT RESTRICTIONS

The Contractor (hereinafter referred to as "SERVICE PROVIDER") agrees, as a condition of accepting this contract with the City of Peoria, that, for a period of one (1) year following completion of this contract, it shall be prohibited from hiring, directly or indirectly, any City employee or official who was involved, directly or indirectly in: [1] the selection and/or recommendation to select the SERVICE PROVIDER for performance of this contract; [2] coordinating the efforts of the SERVICE PROVIDER in the consummation or completion of this contract; or [3] monitoring or determining the performance of the SERVICE PROVIDER. The SERVICE PROVIDER further acknowledges and agrees that, upon the City's determination that a violation of this provision has occurred, the penalty imposed, at the sole discretion of the City, may include one or more of the following: [1] cancellation of any other contract(s) between the City of Peoria and the SERVICE PROVIDER; [2] disqualification of the SERVICE PROVIDER from bidding or being awarded future contracts with the City of Peoria for a period of two (2) years; and/or [3] payment of liquidated damages to the City of Peoria in the amount of TWENTY-FIVE THOUSAND DOLLARS (\$25,000.00) USD.

This does not apply to any City Employee involved in the 2011-12 reduction in force; nor does it apply to parties taking the Early Retirement Incentive offered by the City from November 1, 2011 through November 1, 2012.

2.16 CONTRACT TERMS AND CONTRACT

All of the contract terms shall be incorporated by reference into any written contract.

3.0 PROJECT DESCRIPTION

The City of Peoria is committed to maintaining the vacant lots to the City of Peoria requirements. The City understands that it is essential that the vacant lots are mowed and trimmed to maintain the beauty of the neighborhood. The City of Peoria is responsible for lawn mowing and maintaining over 1,000 locations. City staff is looking for Contractors to provide these services.

Contractor shall provide all labor, tools, and equipment to mow, trim, and remove litter and planting at select facilities, boulevards and right-of-ways within a designated route as assigned by the City of Peoria.

4.0 ROUTES

The City is requesting proposals on thirteen (13) mowing routes. [Maps and/or Lists for route information will be available at or following the Pre-Bid meeting.] The selected Contractor(s) will be required to mow and maintain all of the vacant lots in their selected route. Each route must be mowed, trimmed and landscaped to the requirements set forth in this document and as discussed with the selected Contractors, not to exceed fifteen (15) mows unless otherwise specified by the Contract Supervisor.

The City reserves the right to add or remove locations from the routes at any time during the duration of the Contract at its discretion. Any additional vacant lots will be mowed and trimmed at the route cost submitted with this Proposal.

Proposers may choose to bid on only one route or several routes. The City reserves the right to limit the number of routes awarded, based on the capacity of the Contractors.

5.0 GENERAL SCOPE OF SERVICES

The scope of services sought by the City of Peoria shall include the provision for all required labor, tools, materials, equipment, and expertise related to lawn mowing and trimming on publicly-owned properties.

The following should be included in the scope of services:

- 1. Vacant lots shall be mowed at regular intervals. All vegetation (grass and weeds, etc.) will be mowed when it is between a minimum of six (6") inches and a maximum of (8") inches tall.
- 2. All vegetation will be cut to a height of less than six (6") inches and shall be neat in appearance.
- 3. Vegetation shall not exceed eight (8") inches in height at any time.
- 4. Trimming is required around utility poles, fence lines (at least two feet on both sides), trees, sidewalks, signs, shrubs, ground cover growth, flower beds, hydrants and all other obstructions that cannot be cut with mowers must be trimmed with hand-held equipment.
- 5. Trimming must be completed during every mowing cycle to ensure a neat appearance of the lawn.
- 6. Strips of vegetation left between cuts and areas mashed down by equipment tires and left unmown will not be acceptable and will require re-mowing at no additional charge. When mowing along one side of a sidewalk, the Contractor must mow a 12"-wide strip on the opposite side of the sidewalk.
- 7. Grass clippings must be blown into the <u>yard</u>; GRASS CLIPPINGS ARE NOT TO BE BLOWN INTO THE STREET OR ONTO THE SIDEWALK. [City Code 1957, § 36-23 Sec. 26-25]
- 8. Sweeping of sidewalk, streets and other areas affected by the cutting is required.
- 9. All debris, sticks and litter (garbage) must be <u>removed from the property before mowing</u>. Litter pickup and removal prior to mowing is included in the unit price of mowing of each parcel at no additional charge. If litter is mowed over, the Contractor shall be responsible for cleaning up the mowed litter.
- 10. All tree limbs that are three (3") inches in diameter or smaller will be removed before mowing and disposed of properly.
- 11. If tree limbs are larger than three (3") inches in diameter, the Contractor will notify the Contract Supervisor to have the limbs removed via email.
- 12. All scrub trees less than three (3") inches in diameter will be cut and removed.
- 13. All work on a vacant lot must be completed before the Contractor proceeds to the next job on the route. This includes, but is not limited to, litter cleanup and trimming.
- 14. ANIMAL CARCASSES WEIGHING LESS THAN 50 POUNDS (<50 lbs.) ARE INCLUDED AS LITTER.
- 15. Immediately notify the City's Contract Supervisor of any animal carcasses weighing more than 50 pounds (>50 lbs.).
- 16. If there has been illegal dumping of furniture, appliances, electronics, building materials, brush or abandoned tires on a lot, the Contractor shall immediately notify the City's Contract Supervisor.
- 17. If a Contractor observes damage, hazards or unsafe conditions on the property, the Contractor shall report it to the City's Contract Supervisor immediately.
- 18. Many of the parcels have an irregular shape. The dimensions listed are approximate and not exact.
- 19. The City will not be responsible for any damages or repairs to equipment caused in the performance of the contract.
- 20. The Contractor shall not cause any damage to a property, personal property or adjoining properties, and will be responsible for repairs or replacement of any damage.

- 21. If the Contractor knowingly does damage to a property, personal property or adjoining properties, they shall report it to the City's Contract Supervisor immediately.
- 22. The Contractor will not be paid for vacant lots mowed by others.
- 23. The City reserves the right to add or eliminate vacant lots. Any additional vacant lots will be mowed at the same contract unit price.
- 24. After notification by the Contract Supervisor that a facility, boulevard and/or right-of-way has not been mowed under the terms of the scope of services, the <u>Contractor will have two (2) business days to correct the issues</u> or parcels will be re-assigned to another Contractor. Contractor must immediately notify the Contract Supervisor they have been corrected via email with a photo. If Contractor has two (2) incidents of not mowing per contract terms within the current contract, the City retains the right to immediately terminate Contractor/Vendor for 365 days.
- 25. Failure to comply with the expectations of this contract can lead to the contract being revoked.

6.0 COMMUNICATION

Preferred method of contacting the Contract Supervisor is via email at <u>sdiohnson@peoriagov.org</u> or voicemail (309/494-8866). Please reserve calling the Contract Supervisor's cell phone for emergencies only. (309/417-6730). His hours are Monday through Friday 6:30a.m. to 3:30p.m.

7.0 CONTRACT PRICE

Contractor will be paid a flat rate per facility, boulevard and right-of-way for mowing and trimming performed.

No payment of invoices shall be made until any damage to property, private property or adjoining properties has been corrected.

8.0 CONTRACT DURATION

It is anticipated that, once Contractors are selected, the mowing contract will start in mid- or late April and could continue through December 31, 2021, weather permitting. Specific timelines will be mutually agreed upon between the selected team and the City of Peoria.

9.0 MOWING SEQUENCE

Prior to commencing work, the Contractor shall submit to the Contract Supervisor an approximate mowing sequence for his/her respective route(s).

Contractor must use all reasonable efforts to complete the mowing cycle within seven (7) days of beginning a cycle. Contract Supervisor must be notified if a mowing cycle cannot be completed within the seven (7) days. Failure to notify the Contract Supervisor of a delay in completing a mowing cycle within seven (7) days will result in the remaining properties in cycle being assigned to another Contractor/Vendor.

10.0 EQUIPMENT REQUIRED

Contractor will be required to provide all necessary equipment for performing this work (truck, commercial riding mower, rotary mower, trimmers and edgers, digital camera and all necessary hand tools to satisfactorily perform the work). All Contractor equipment will be equipped with proper safety and noise limiting devices and will be maintained in a safe operating condition at all times according to OSHA standards. Only trained operators will be permitted to operate equipment. Failure of equipment to perform properly and causing delay of the required work within the specified time will not alleviate the demand of meeting the requirements of this contract.

<u>Safety Precautions</u>: The Contractor/Vendor is responsible for instructing his/her employees or subcontractors on accident prevention and safety. Particular emphasis will be placed on the operation of equipment near populated and congested buildings.

Contractor shall provide protective safety gear including, but not limited to, eye, foot, hearing and other protection as necessary. Employees/subcontractors are required to use protective gear as required by their employer. Rotary mowers, trimmers and other hazardous equipment shall not be operated without proper safety guards. All equipment is subject to safety inspections and must meet criteria set forth by the City of Peoria's safety officers.

The City will inspect the proposer's equipment before making an award to make sure of availability and quality and to evaluate the Contractors' capabilities. The Contractor will provide the Public Works Department a business telephone number which will be answered between 6:30 A.M. and 3:30 P.M., Monday through Friday, and will be in ready contact, or know the whereabouts of the Contractor and a telephone number and/or pager which will provide evening and weekend access to the Contractor.

11.0 DEBRIS REMOVAL

The Contractor will be required to remove minor debris on each parcel. This includes trash, sticks, limbs, etc., as defined in the Scope of Services section. If litter is mowed, the Contractor is responsible for cleanup of the mowed litter within 12 hours after being notified. If there has been illegal dumping of immediately notify the Contract Supervisor to have the property cleaned.

12.0 DISPOSAL OF MATERIALS

The Contractor will dispose of the litter from assigned publicly-owned properties at an authorized EPA-approved landfill or by other approved methods (i.e. dumpsters). The Contractor will pay for all dumping fees. The Contractor may not use City of Peoria facilities for disposal. Tires will be disposed of in accordance with IEPA-approved methods. Verification of proper disposal will be required.

13.0 ADDITIONAL WORK

Occasionally the City may request the Contractor to complete additional work. This work will be authorized by a City-issued WORK ORDER. The Contractor will not complete any extra work without an approved WORK ORDER.

14.0 BILLING

The billing shall be for actual work performed to date. Billing should include documentation of the date, address where the mowing and trimming were performed, and a description of any incidental work that was performed, as well as any other information requested by the City, including sequential invoice numbers. Invoices shall also include information on debris removal including the location (description or address), a description of the debris removed, the date it was removed and photos. The invoice and documentation shall be in a format approved by the City. [Hard-copy of Invoice template available from Contract Supervisor upon request.]

Billing shall not include any downtime due to equipment failure or other adverse conditions, nor shall it include any travel time to, from or on-the-job sites and/or the landfill site.

invoices must be submitted within five (5) days after the completion of the mowing cycle.

Invoices submitted after five (5) days will be subject to a 10% processing fee that will be deducted from the invoice paid and Contractor/Vendor will be considered in default and put on notice. If Contractor/Vendor has

two (2) defaults of not billing per contract terms within the current contract, the City retains the right to immediately terminate Contractor/Vendor for 365 days.

If a vacant lot is not mowed under the terms of this contract, payment will be held until the issue has been corrected to the satisfaction of the City. If Contractor/Vendor has two (2) incidents of not mowing per contract terms within the current contract, the City retains the right to immediately terminate Contractor/Vendor for 365 days.

Invoices will not be processed until any damage to property, personal property or adjoining properties has been repaired or replaced.

The Contractor shall submit invoices to the City's Contract Supervisor, Shawn Johnson, at 3505 N. Dries Lane, Peoria, IL 61604-1210, or email to sdjohnson@peoriagov.org or fax to the attention of Shawn Johnson at 309/494-8855.

15.0 RESPONSE FORMAT TO RFP & WEIGHT GIVEN

The submittal should be as concise as possible. The Proposal response should be a maximum of ten (10) pages. Additionally, promotional information should be avoided. Submit five (5) hard copies of the proposal response.

This section serves as a check list for the expected format of Responses to the RFP. Any other documentation should be included in an Appendix or as an attachment.

15.1 COVER LETTER

A letter of introduction, including names and address of the Contractor submitting the Proposal, and contact person(s) who will be authorized to represent the Contractor and bind to all commitments made in the Response, including name, address, email address and phone numbers (including mobile number) of a contact person responsible for and knowledgeable of the submittal.

Include names, the size and a brief description of the team, including the same information for any proposed subcontractors. If subcontractors are anticipated, describe the role proposed for each team or consultant involved in the project and the approximate percentage of work assigned to each.

Include location of offices for the team and for proposed subcontractors, and the office location which has the responsibility for managing the contract.

15.2 PROJECT APPROACH (20 Points)

Describe your understanding of the project including, but not limited to, when mowing is required, critical elements and goals. Describe your capacity to do the work, specifically addressing how you would handle routes, the equipment you would use, and the number of workers that would be hired, etc. Include a description of equipment owned by or accessible and available to the Contractor to be used for this project.

15.3 PREVIOUS EXPERIENCE (20 Points)

Include a brief history of your firm, as well as:

A detailed description of related project experience and client name for each project for each company or subcontractor proposed for this project.

Names and contact information for at least three (3) references from previous clients on similar projects.

A brief summary of any specialized experience, qualifications or unique capabilities applicable to this project that you feel are important to the success of the project.

15.4 PROJECT COST (40 Points)

Submit one flat rate to be paid per lot mowed and trimmed within each route on the <u>attached</u> Pricing Sheet. Contractor may submit on a single or multiple routes. Please complete every line in the Pricing Sheet. Use "not applicable" (N/A) or "no response" for any routes for which you do not want to be considered.

15.5 NON-PROFIT (15 Points)

Describe your non-profit program, if applicable.

15.6 MBE/WBE PARTICIPATION (5 Points)

Describe your firm's efforts to achieve a diverse workforce and its ability to staff the project locally.

15.7 COMPLETE COPY OF RFP INCLUDING APPROPRIATE SIGNATURES (not included in 10-page limit)

Provide a copy of this RFP with signatures certifying the understanding of, and compliance with, the total proposal package.

16.0 SELECTION PROCEDURE

The City will review and analyze each Proposal and reserves the right to select the Proposer who offers the best value. The City shall select the Contractor which, in the City's opinion, has made a proposal best suited to the needs and goals of the City and deemed to be in compliance with the terms of this RFP both responsive and responsible.

An award will be made to the most qualified (responsive and responsible) Proposer that complies with the terms and conditions of the specifications provided. Awards will be made on a Per Route basis.

The Selection Committee consisting of City staff shall review each Proposal to obtain scores. Scoring will be based on the points listed in the "Evaluation Criteria" section below.

Each criterion in the evaluation will be ranked on a scale of 1 to 10, where 10 equals the highest ranking of submittals received. A rank of 10 for any criterion indicates the most qualified team for that criterion. Each numerical ranking will be multiplied by the weighted value below. A total point value for each response will be determined by the composite evaluation of the Selection Committee. The team with the highest overall point total will be ranked first.

<u>Criteria</u>	Weight	<u>Rank</u>	<u>Total</u>
Project Cost	40	10	400
Project Approach	20	10	200
Experience	20	10	200
Nonprofit	15	10	150
MBE/WBE	5	10	50
Total Maximum Points			1,000

NOTE: Total Maximum Points Possible assumes that a team receives a best rank of 10 on all criteria.

The City of Peoria reserves the right to interview Contractors, hold a field test, or inspect the Contractor's available equipment, if deemed necessary by the Selection Committee.

The Selection Committee will determine the best qualified Contractors by consensus. The City reserves the right to waive all technicalities and to reject any or all Statements of Interest and Qualifications.

17.0 CONTRACT SUSPENSION/TERMINATION

The City of Peoria reserves the right to immediately suspend this contract if a Contractor or their employee breaks the law while working on any City of Peoria work order or job. The contract will be suspended until all legal matters are resolved.

The City reserves the right to suspend and/or terminate the contract if the Contractor is not meeting the quality standards listed herein or as discussed with the Contractor.

18.0 PROVISIONS BY THE CITY OF PEORIA

The City of Peoria will provide the following information to the selected team:

- 1. ROW information available through City of Peoria records, including recent acquisitions.
- 2. Vacant lot address.
- 3. Parcel Identification Number.
- 4. Parcel size and area.
- 5. Parcel location Route Map

CRITICAL DATES:

Selection will be made per the following Schedule:

RFP Advertised	.February 13 th and 15 th , 2021
Pre-bid meeting at 10:00am	February 19, 2021
Held at Peoria City Hall, 419 Fulton Street, Room #400, Peo	
Due Date for Proposals at 10:00 a.m.	March 4, 2021
Contract submitted to City Council Agenda process	March 10, 2021
City Council Meeting at which Contract is Recommended for Approval	March 23, 2021
Notice of Award Sent to Approved Contractor	no later than April 1, 2021

19.0 PRE-BID MEETING

A questions and answers session will be held at a Pre-Bid meeting Friday, February 19, 2021, at 10:00a.m., at Peoria City Hall, Room #400, located at 419 Fulton Street, Peoria, IL 61602.

20.0 OMISSION OF SCOPE

Please indicate if you believe a major item(s) is/are missing from the scope of services outlined in this RFP.

21.0 QUESTIONS

A site visit to the project areas is strongly recommended. All information about the contract is contained within the contents of this request. Questions or comments regarding the request or the process related to the request should be submitted via email to the Contract Supervisor, Shawn D. Johnson at Sdjohnson@peoriagov.org or by phone at 309/494-8866.



Date: 3/3/21

CITY OF PEORIA PROPOSAL

Pricing Sheet (40 Points)

Submission Requirements

On separate sheet(s) of paper (maximum of 10 pages) provide the following:

- A. Cover letter
- B. Approach to the project (20 Points)
- C. Previous experience (20 Points)
- D. Nonprofit description (15 Points)
- E. Minority/Women Business Enterprise participation (5 Points)

Execution of this form certifies understanding and compliance with the total bid/proposal package.

RATE FOR THE DURATION OF THE CONTRACT

Route 1	\$ N/A per vacant lot mowed and trimmed
Route 2	\$ N/A per vacant lot mowed and trimmed
Route 3	\$ N/A per vacant lot mowed and trimmed
Route 4	\$ 14.75 per vacant lot mowed and trimmed
Route 5	\$per vacant lot mowed and trimmed
Route 6	\$per vacant lot mowed and trimmed
Route 7	\$per vacant lot mowed and trimmed
Route 8	\$ NA per vacant lot mowed and trimmed
Route 9	\$ N/A per vacant lot mowed and trimmed
Route 10	$\frac{N/R}{}$ per vacant lot mowed and trimmed

Route 11	\$ N/A	_per vacant lot mowed and trimmed
Route 12	\$ MA	_per vacant lot mowed and trimmed
Route 13	\$ NA	_per vacant lot mowed and trimmed

Please complete all routes on this form. Complete with "not applicable" (N/A) or "no response" for any routes for which you do <u>not</u> want to be considered.

CITY OF PEORIA PROPOSAL

Execution of this form certifies understanding and compliance with the total proposal package.

PROPOSAL SUBMITTED BY:

Camady Lawn Service	Peorla EEO Certificate of Compliance Number	
Address		
Ounlap	11 4525	
City St 309-021-1900 En	tate Lach Cormodyservices e gmail . Col mail address	m
3DQ-U21-19DU Co	Fach Pelder on type)	
Zach Reeder	Owner	
Name of Authorized Agent or Officer	Title	
l hiller	do gr	
Signature of Authorized Agent or Office	cer	

PLEASE MARK ENVELOPE as per Paragraph 1.3: "Vacant Lot Mowing and Maintenance Proposal, City of Peoria - Request #06-21"

CITY OF PEORIA CONTRACT

This agreement, made and entered into this 23rd day of March A.D., 2021 by and between the City of Peoria, a municipal corporation, party of the first part, and CARMODY LAWN SERVICES, his/their executors, administrators, successors or assigns, party of the second part.

WITNESSETH: That for and in consideration of the payments and agreements mentioned in the proposal hereto attached, to be made and performed by the party of the first part, and according to the terms expressed in the bond referring to these presents, the party of the second part agrees with said party of the first part, at his/their own proper costs and expense to furnish and deliver all the work, materials and supplies in accordance with the specifications contained in said proposal, and in full compliance with all of the terms of this agreement.

IT IS UNDERSTOOD AND AGREED that the instructions to bidders, proposal, and bid and specifications are component parts of this contract and shall be deemed a part hereof. It is also understood and agreed that the contractor shall not assign, transfer, convey or otherwise dispose of this contract, or his right to execute it, or his right, title or interest in or to it or any part thereof, unless the previous written consent of the City Manager of the City of Peoria shall first be obtained thereto.

IN WITNESS WHEREOF, the said parties have executed these presents on the date above mentioned.

CARMODY LAWN SERVICES will provide Vacant Lot mowing services for the City of Peoria in accordance with the attached RFP and stated pricing.

THE CITY OF PEORIA

By: City Manager

ATTEST: City Clerk

APPROVED LEGAL DEPARTMENT

Attorney

PARTY OF THE SECOND PART

__CARMODY LAWN SERVICES__ (Name of individual, firm or corporation)

(Member of firm or officer of corporation)

APPROVED FINANCE DEPARTMENT

Finance Director

APPROVED USING DEPARTMENT

Department Head

PIN	House Number Directional Street	Directional	Street	Suffix	Suffix Address	Notes	Route	Route Area
1808181001	1518	>	ADRIAN G HINTON	AVE	1518 W ADRIAN G HINTON AVE		4	3707.393311
1808181002	1516	>	ADRIAN G HINTON	AVE	1516 W ADRIAN G HINTON AVE		4	3707.688965
1808181005	1508	>	ADRIAN G HINTON	AVE	1508 W ADRIAN G HINTON AVE		4	4456.076416
1808181007	1504	×	ADRIAN G HINTON	AVE	1504 W ADRIAN G HINTON AVE		4	4954,736328
1808257022	1101	>	ADRIAN G HINTON	AVE	1101 W ADRIAN G HINTON AVE		4	2925.375977
1808180011	1507	*	ADRIAN G HINTON	AVE	1507 W ADRIAN G HINTON AVE		4	7500.247803
1808180012	1505	>	ADRIAN G HINTON	AVE	1505 W ADRIAN G HINTON AVE		4	5250.069092
1808180013	1501	>	ADRIAN G HINTON	AVE	1501 W ADRIAN G HINTON AVE	fence to remove on side	4	9750.304688
1808183014	1407	*	ADRIAN G HINTON	AVE	1407 W ADRIAN G HINTON AVE		4	4950.164551
1808183015	1405	*	ADRIAN G HINTON	AVE	1405 W ADRIAN G HINTON AVE		4	4949.424316
1808187016	1307	^	ADRIAN G HINTON	AVE	1307 W ADRIAN G HINTON AVE		4	4649.961914
1808261009	1023	8	ADRIAN G HINTON	AVE	1023 W ADRIAN G HINTON AVE		4	4514.248047
1808254011	1201	>	ADRIAN G HINTON	AVE	1201 W ADRIAN G HINTON AVE		4	58525.01392
1808257026	1103	*	ADRIAN G HINTON	AVE	1103 W ADRIAN G HINTON AVE		4	6026.17749
1808178006	1606	^	ADRIAN G HINTON	AVE	1606 W ADRIAN G HINTON AVE		. 4	11986.63672
1808258005	1110	>	ADRIAN G HINTON	AVE	1110 W ADRIAN G HINTON AVE		4	4519.560059
1808177004	1617	*	ADRIAN G HINTON	AVE	1617 W ADRIAN G HINTON AVE		4	6977.753418
1808177005	1615	*	ADRIAN G HINTON	AVE	1615 W ADRIAN G HINTON AVE		4	5400.028564
1808180007	1519	>	ADRIAN G HINTON	AVE	1519 W ADRIAN G HINTON AVE		4	4999,628174
1808180010	1511	>	ADRIAN G HINTON	AVE	1511 W ADRIAN G HINTON AVE		4	7500.265381
1808187017	1305	^	ADRIAN G HINTON	AVE	1305 W ADRIAN G HINTON AVE		4	4049.867432
1808257017	1109	*	ADRIAN G HINTON	AVE	1109 W ADRIAN G HINTON AVE		4	4520.313965
1808257018	1107	>	ADRIAN G HINTON	AVE	1107 W ADRIAN G HINTON AVE		4	4520.230957
1808261006	1029	*	ADRIAN G HINTON	AVE	1029 W ADRIAN G HINTON AVE		4	3312.035645
1808261007	1027	*	ADRIAN G HINTON	AVE	1027 W ADRIAN G HINTON AVE		4	3825.751953
1808261008	1025	*	ADRIAN G HINTON	AVE	1025 W ADRIAN G HINTON AVE		4	4288,438965
1808330003	1414	*	AIKEN	AVE	1414 W AIKEN AVE		4	3755,558105
1808330004	1412	*	AIKEN	AVE	1412 W AIKEN AVE		4	3755.574463
1808184012	1407	*	AIKEN	AVE	1407 W AIKEN AVE		4	2089.980713
1808266006	1005	8	AIKEN	AVE	1005 W AIKEN AVE		4	3031.263428
1808351047	1713	>	BUTLER		1713 W BUTLER		4	3775.05957
1808351061	1801	*	BUTLER	ST	1801 W BUTLER		4	7530.913818
1808355007	1704	*	BUTLER	ST	1704 W BUTLER ST		4	4199.315918
1808381014	1414	*	BUTLER	ST	1414 W BUTLER ST		4	6303.285156
1808385004	1316	*	BUTLER	ST	1316 W BUTLER ST		4	3149.584473
1808452001	1224	8	BUTLER	ST	1224 W BUTLER ST		4	3150.297363
1808452002	1222	≯	BUTLER	ST	1222 W BUTLER ST		4	3148.660889
1808452003	1220	*	BUTLER	ST	1220 W BUTLER ST		4	3152.008545
1808452004	1216	8	BUTLER	ST	1216 W BUTLER ST		4	3150.432129
1808452007	1210	*	BUTLER	ST	1210 W BUTLER ST		4	3657.49707
1808456005	1104	*	BUTLER	ST	1104 W BUTLER ST		4	3156.340332
1808460010	1010	8	BUTLER	ST	1010 W BUTLER ST		4	3288.89917
1808351058	1605	8	BUTLER	ST	1605 W BUTLER ST		4	4251.830078
1808380022	1519	>	BUTLER	ST	1519 W BUTLER ST		4	3155.562744
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1808380042	1505	>	BUTLER	ST	1505 W BUTLER ST		4	1578.824707
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1808182003 1408					1808185006 1312	1808185007 1308	1808185008 1306	1808185009 1304	1808185002 1304	1808185001 1300	1808251001 1208							1000413022 301						-	, -	•	, ,											• •		• •	1808308006 1707	1808308013 1605	1808327022 1541	1808327028 1527	1808327033 1519	1808327034 1515			1808331017 1419

1808331021	1411	>	SMITH	ST	1411 W SMITH ST		_	2775
1808331022	1409	*	SMITH	ST	1409 W SMITH ST		1 4	3773 69165
1808331035	1301	*	SMITH	ST	1301 W SMITH ST		. 4	2068 604248
1808402017	1217	*	SMITH	ST	1217 W SMITH ST		4	2250:054240
1808402018	1215	*	SMITH	ST	1215 W SMITH ST		. 4	1721,299316
1808412023	1007	8	SMITH	ST	1007 W SMITH ST	Fenced by 1009 ?	4	3768,09668
1808327035	1513	*	SMITH	ST	1513 W SMITH ST		4	3752,558838
1808327038	1507	≯	SMITH	ST	1507 W SMITH ST		4	3752,609131
1808328012	1510	>	SMITH	ST	1510 W SMITH ST		4	4410.09082
1808405009	324	S	STEUBENVILLE	AVE	324 S STEUBENVILLE AVE		4	3263.557129
1808405008	322	S	STEUBENVILLE	AVE	322 S STEUBENVILLE AVE		4	3281.476807
1808405001	310	S	STEUBENVILLE	ST	310 S STEUBENVILLE ST		4	5109.854004
1808333018	305	S	STEUBENVILLE	AVE	305 S STEUBENVILLE AVE		4	3260.534912
1808402005	126	vs u	STEUBENVILLE	AVE	126 S STEUBENVILLE AVE		4	6647.796875
180876000	324	n 3	Times	AVE	324 S STEUBENVILLE AVE		4	3082.016846
1808250005	1024	3 €	THIRD	AVE	1024 W THIRD AVE		4	4504.792969
1808260003	1020	*	CANAL	AVE	1022 W IHIRD AVE		4	4503.928467
1808260007	1018	\$ }	THIND	AVE	1020 W THIRD AVE		4	4504.499512
1808280006	906	* *	AHIP Call	A V	TOTO W LITING AVE		4	4504.438721
1808263010	1009	: ≽	THIRD	AVE	JOOG W THIRD AVE		4	3744.525635
1808251034	1113	: ≥	THIBD	į ,	1113 W THIRD ST		4 '	2721.633545
1808251035	1111	: >	THIRD	AVF	1111 W THIRD AVE		4	5023,363525
1808251033	1115	>	THIRD	<u> </u>	1115 W THIRD ST		4	4491.02832
1808251032	1117	*	THIRD	AVE	1117 W THIRD AVE		7 -	4063.396484
1808452018	425	٠,	WEBSTER	7 15	425 S WERSTER ST		4 .	4064.4021
1808410009	316	ı v	WEBSTER	5 5	316 S WEBSTER ST		4 <	2552.918457
1808410007	312	S	WEBSTER	ST	312 S WEBSTER ST		7 <	5112 010555
1808405016	309	S	WEBSTER	ST	309 S WEBSTER ST		1 4	4131 750488
1808256028	220	z	WEBSTER	ST	220 N WEBSTER ST		+ 4	4792.369385
1808402014	129	S	WEBSTER	ST	129 S WEBSTER ST		4	4748.501465
1808303003	1834	>	WIDENHAM	ST	1834 W WIDENHAM ST		4	3776.809814
1808303004	1832	>	WIDENHAM	ST	1832 W WIDENHAM ST		4	3776.826172
1808303008	1822	>	WIDENHAM	ST	1822 W WIDENHAM ST		4	7079.13916
1808307004	1806	≥ :	WIDENHAM	S.	1806 W WIDENHAM ST		4	3750.040283
1808277005	1504	≥ ≥	WIDENHAM	<u>ہ</u> د	1804 W WIDENHAM ST		4	3750.663574
1808321000	1310	* *	WIDENHAM	م د د	1328 W WIDENHAMI SI		4	3743.820557
1808305007	1817	\$ }	WIDENHAM	5 t	1910 W WIDENHAM ST		4 .	3956.740234
1000000001	1530	* *	WIDENHAM	ā t	1517 W WIDENHAM SI		4	3745.142822
1000220020	1523	* *	WIDENHAM	<u>,</u> }	1529 W WIDENHAM SI		4	3/43.254395
1808328037	1503	A 3	WIDENHAM	ر ا د	1503 W WIDENHAM SI		4	3746.275391
1000530022	1403	3	WIDENHAM	n (1403 W WIDENHAM SI		4	7522.178467
19092030024	131/	* *	WIDENHAM	<u>,</u> t	1317 W WIDENHAM ST		4	4178.873291
1000000000	1020	3	WIDENHAM	<u>,</u>	1825 W WIDENHAM SI		4	3776.928223
180832/01/	1505	A ?	WIDENHAM	15	1506 W WIDENHAM ST		4	3749.440186
1808178009	101	8 z	GROVE	7 t	1811 W WIDENHAM SI		4	4993.240479
1808375007	1530	2 8	AIKEN	5 b	1520 W AIKEN ST		4	
1808251047	307	\$ z	CHARITON	5 b	307 N CHARLITON ST		4 *	
1808255033	4214	W	ADRIAN G HINTON	AVE	1714 W. CHARLION SI	Many addition 25, 2029	4	

The same of the sa			The state of the s			
1808257025		Was and	ADRIAN G HINTON	AVE		LOT BEHIND 123 N. Charlton New aridition 2-5-2021
1808257026 1	1103	W	ADRIAN G HINTON	AVE	1103 W ADRIAN G HINTON AVE	SECOND LOT FROM THE CORNER GO FEET WIDE
1808251047	303	2	CHARLTON	S.	309 N CHARLTON ST	NEW ADDITION 2-5-2021
1808461003 5	200	S	CHARLTON	Ls	504 S CHARLTON ST	NEW ADDITION 2-5-2021
1808384015	1207	W	BUTTER	ST	1307 W BUTLER ST	NEW ADDITION 2:5:21
1808384016	1305	W -	BUTUER	ST	1305 W BUTLER ST	NEW ADDITION 2.5-21
1808451008 1	1207	W	BUTLER	IS	1207 W BUTLER ST	NEW ADDITION 2-5-21
1808451009 1	1205	W	BUTLER	ST	1205 W BUTLER ST	NEW ADDITION 2-5-21
1808451010 1	1203	W	BUTLER	ST	1203 W BUTLER ST	NEW ADDITION 2-5-21
1808452004	1218	W	BUTLER	ts.	1218 W BUTLER ST	NEW ADDITION 2-5-21
1808456007 1	1100	W	BUTLER	TS.	1100 W BUTLER ST	NEW ADDITION 2.5-21
1808351043 1	1805	N	BUTLER	ST	1805 W BUTLER ST	NEW ADDITION 2-5-21
1808355004	1710	Mary Mary	BUTTER	ST	1710 W BUTLER ST	NEW ADDITION 2-5-21
1808376010 1	1539	*	BUTLER	ST	1539 W BUTLER ST	NEW ADDITION 2:5-23
1808251013	1116	M	FOURTH	ST	1116 W FOURTH ST	NEW ADDITION 2-12-21
1808411008	1005	N	HURLBURT	72	1005 W HURURURE CT	NEW ADDITION OF THE PROPERTY O

WARREN 1704 W Martin Luther King Jr Dr Public Owned Vacant Lots 1704 W MARTIN LUTHER KING JR DR 1808157002 SP MARTIN LYTHER WING SR ADRIAN G HINTON 1808157001 Public Owned Vacant Lots Edge of Road Buildings Parcels 1714 W MOSS AVE 1808156005

1703 W AIKEN AVE 1808158004 W MARTIN LUTHER KING JR DR 1808158002 AIKEN 1722 W Martin Luther King Jr Dr Public Owned Vacant Lots 1722 W MARTIN LUTHER KING JR DR 1808158001 DR WARTIN LUTHER KING JR 8 1808 W MOSS AVE 1808156002 Public Owned Vacant Lots Edge of Road Buildings Parcels 1812 W MOSS AVE 1808156001

1808159000 1617 W Adrian G Hinton Ave Public Owned Vacant Lots DR MARTIN LUTHER KING JR 1613 W ADRIAN G HINTON AVE 1615 W ADRIAN 1617 W ADRIAN 1808177006 G HINTON AVE HINTON AVE 1808177005 1808177004 Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels

1615 W Adrian & Hinton Ave Public Owned Vacant Lots

OR MARTIN LUTHER KING JR

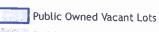
1617 W ADRIAN G HINTON AVE 1808177004

1615 W ADRIAN **HINTON AVE** 1808177005

1613 W ADRIAN G HINTON AVE 1808177006



60 Feet





Edge of Road

Parcels

1606 W Adrian G Hinton Ave Public Owned Vacant Lots ADRIAN G HINTON WADRIAN INTON AVE 08178003 D W ADRIAN G HINTON AVE 1808178007 1606 W ADRIAN HINTON AVE 1808178006 1549 W AIKEN AVE 103 N 808178005 **GROVE ST** 1808178008 101 N GROVE ST 1808178009 Public Owned Vacant Lots AIKEN **Buildings** Edge of Road 60 Feet **Parcels**

1600 W MOSS AVE 1808176004

1507 W John H Gwynn Jr Ave Public Owned Vacant Lots

DR MARTIN LUTHER KING JR

1505 W JOHN H GWYNN JR AVE 1808179005

1500 W MARTIN LUTHER KING JR DR 1808179009

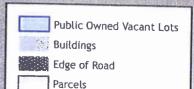
1501 W JOHN H GWYNN JR AVE 1808179007

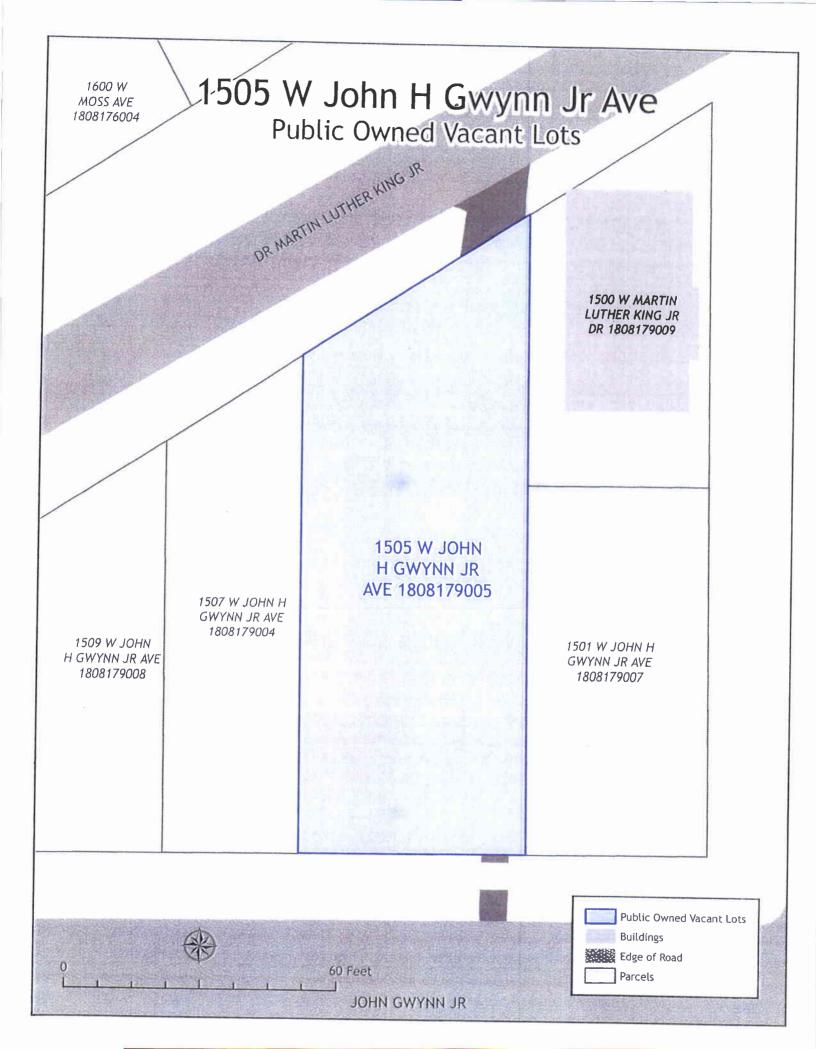
1509 W JOHN H GWYNN JR AVE 1808179008

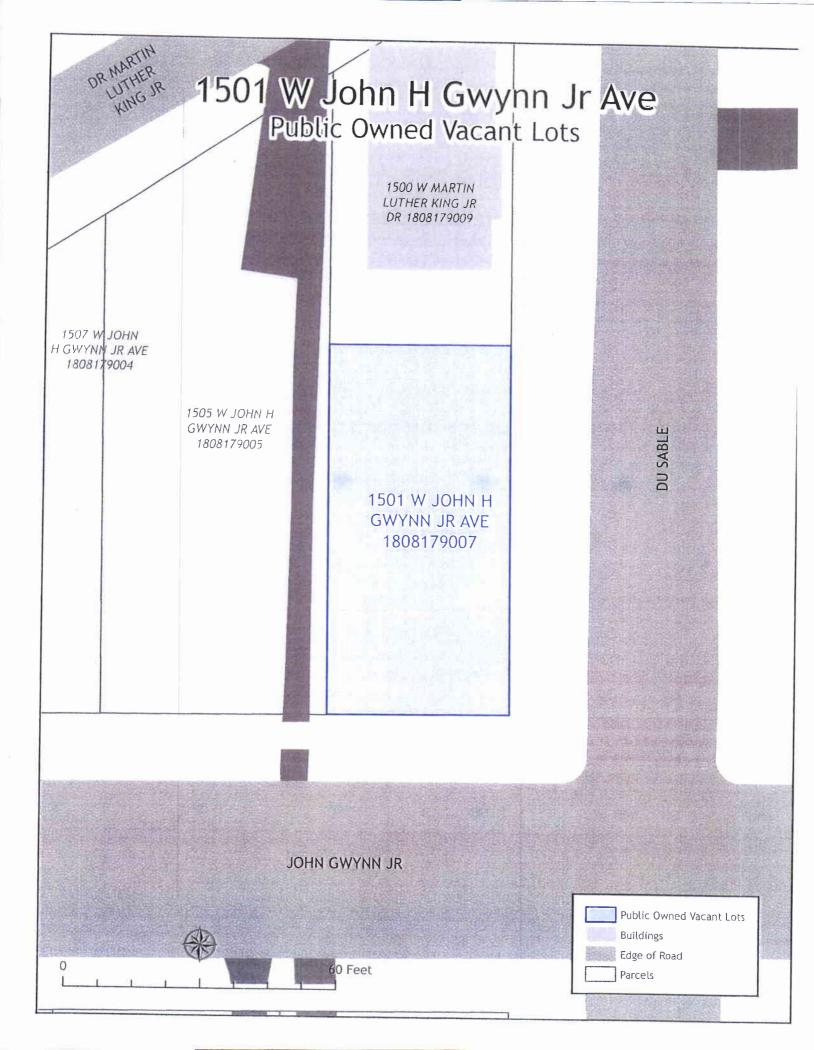
JOHN GWYNN JR

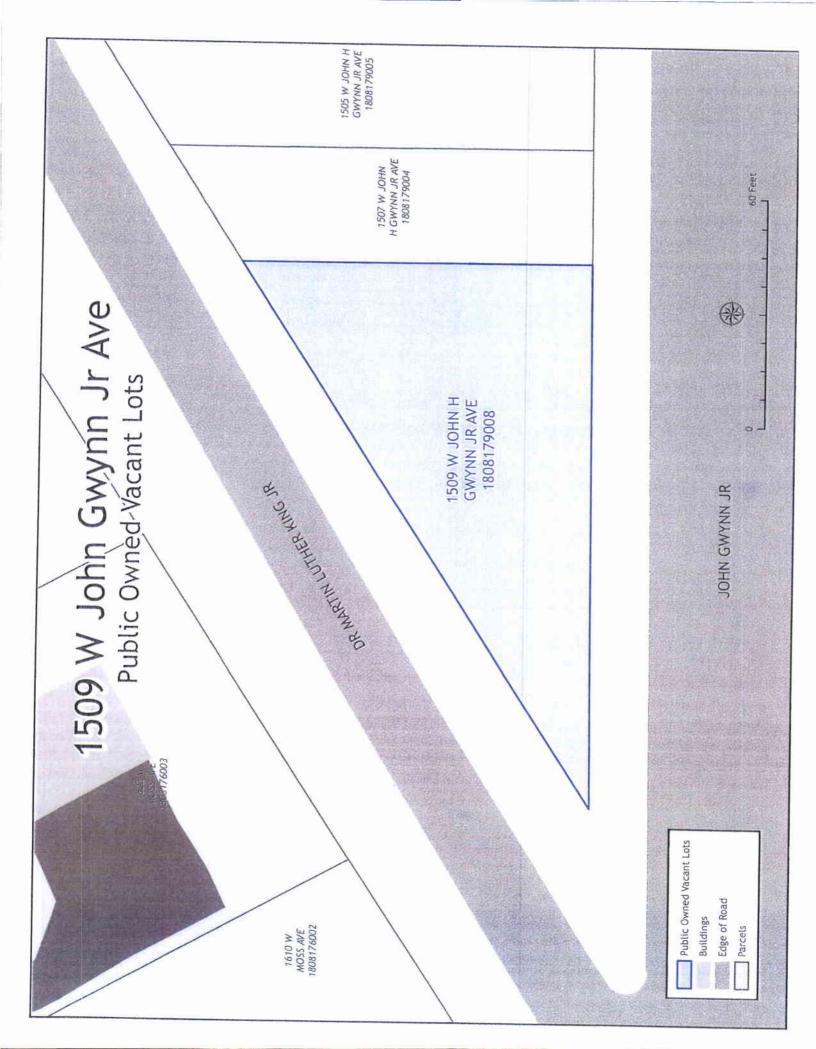
1507 W JOHN H GWYNN JR AVE 1808179004

60 Feet









1500 W Martin Luther King Jr Dr Public Owned Vacant Lots

1536 W MOSS AVE 1808176005

OR MARTIN LUTHER KING JR

1500 W MARTIN LUTHER KING JR DR 1808179009

1505 W JOHN H GWYNN JR AVE 1808179005

> 1501 W JOHN H GWYNN JR AVE 1808179007

60 Feet

Public Owned Vacant Lots

Buildings

Edge of Road

Parcets

1519 W Adrian G Hinton Ave Public Owned Vacant Lots 1513 W ADRIAN G HINTON AVE 1808180009 1519 W ADRIAN 1517 W ADRIAN HINTON AVE. G HINTON AVE 1808180008 1808180007 Public Owned Vacant Lots Buildings Edge of Road ADRIAN G HINTON 60 Feet Parcels

1511 W Adrian G Hinton Ave Public-Owned-Vacant-Lots———

1511 W ADRIAN 1513 W ADRIAN 1517 W ADRIAN 1507 W ADRIAN G HINTON AVE HINTON AVE G HINTON AVE G HINTON AVE 1808180009 1808180008 1808180011 1808180010 Public Owned Vacant Lots **Buildings** Edge of Road

60 Feet

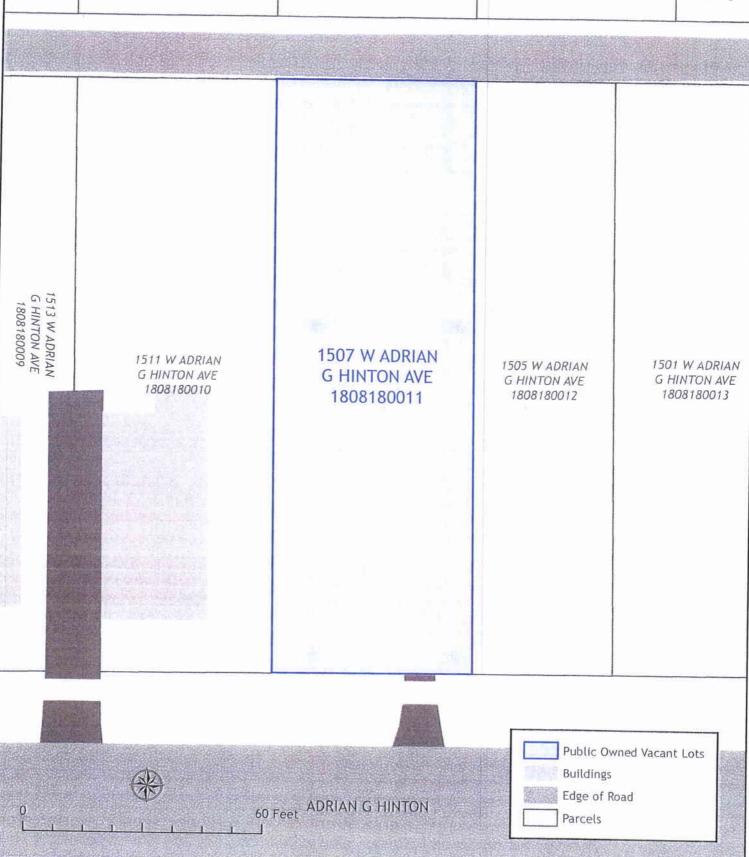
ADRIAN G HINTON

Parcels

1516 W JOHN H GWYNN JR AVE 1808180002

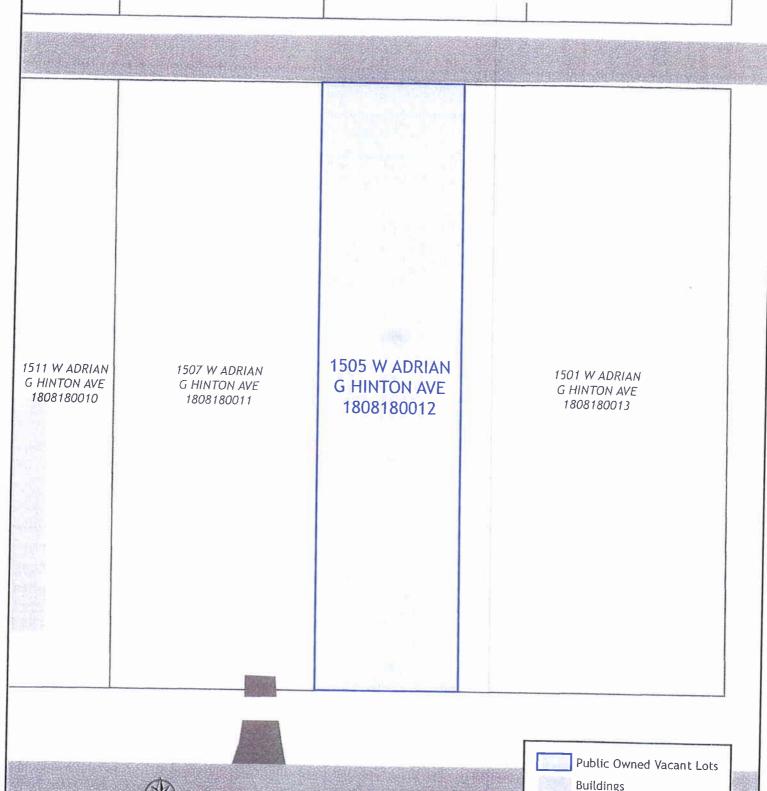
1507 W Adrian G Hinton Ave Public Owned Vacant Lots

1502 W JOHN H GWYNN JR AVE 1808180006



1512 W JOHN H GWYNN JR AVE 1808180003

1505 W Adrian G Hinton Ave Public Owned Vacant Lots



60 Feet ADRIAN G HINTON

Edge of Road

Parcels

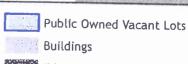
1501 W Adrian G Hinton Ave Public-Owned-Vacant-Lots

1505 W ADRIAN G HINTON AVE 1808180012 1501 W ADRIAN G HINTON AVE 1808180013 U SABIF



60 Feet

ADRIAN G HINTON





Edge of Road



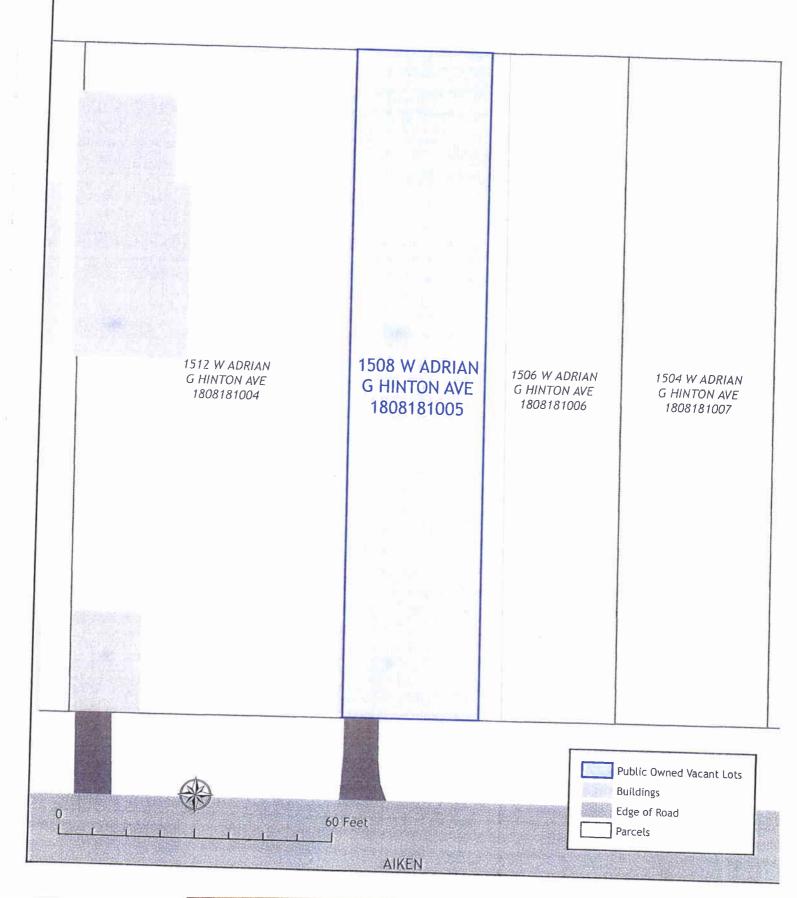
ADRIAN G HINTON 1518 W Adrian G Hinton Ave Public Owned Vacant Lots 1512 W ADRIAN G HINTON AVE 1808181004 518 W ADRIAN 1516 W ADRIAN 1514 W ADRIAN G HINTON AVE G HINTON AVE G HINTON AVE 1808181001 1808181002 1808181003 Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels AIKEN

1516 W Adrian G Hinton Ave Public Owned Vacant Lots

1516 W ADRIAN **G HINTON AVE** 1518 W ADRIAN 1514 W ADRIAN 1512 W ADRIAN 1808181002 G HINTON AVE G HINTON AVE G HINTON AVE 1808181001 1808181003 1808181004 Public Owned Vacant Lots Buildings Edge of Road 50 Feet Parcels

GROVE

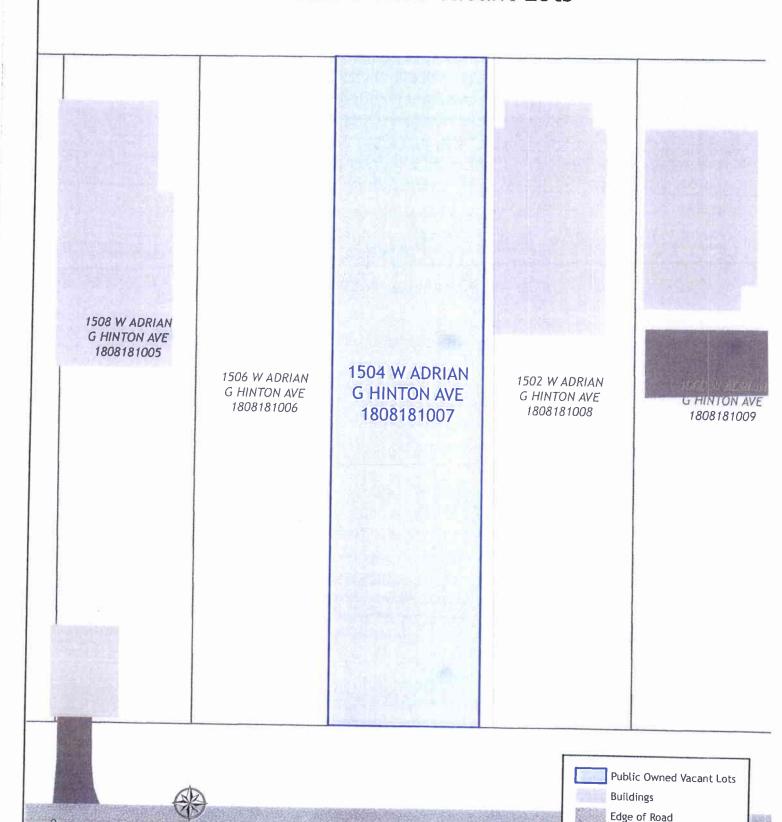
1508 W Adrian G Hinton Ave Public Owned Vacant Lots



ADRIAN G HINTON

1504 W Adrian G Hinton Ave

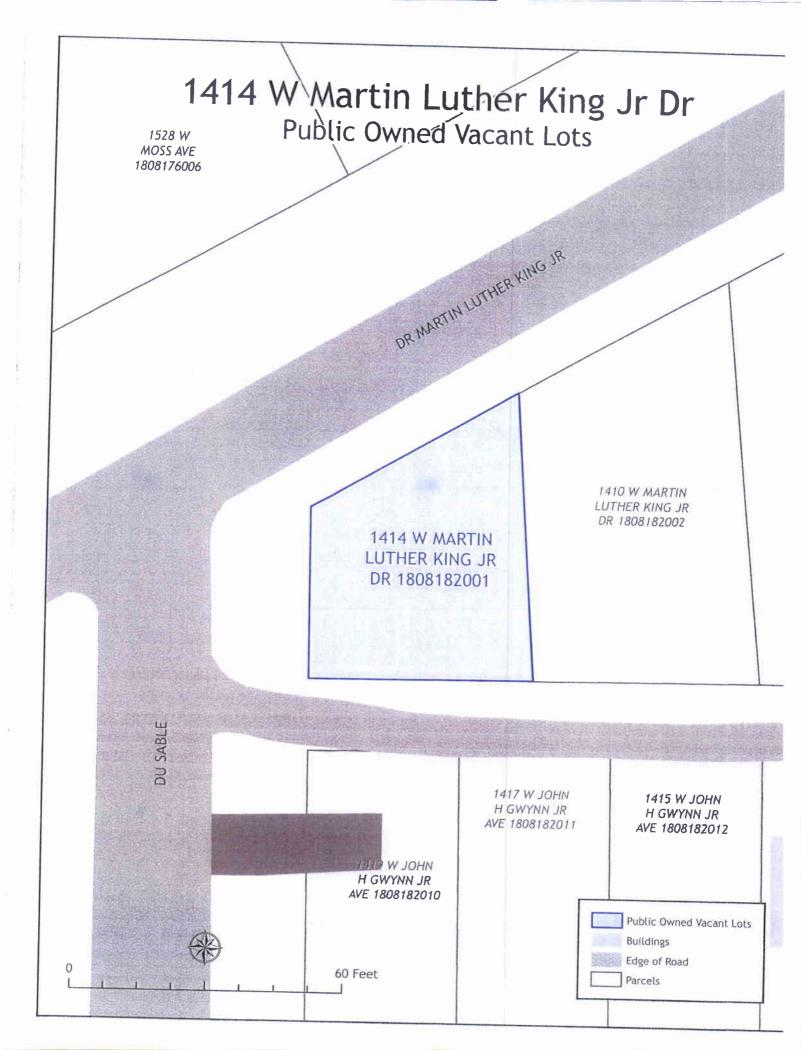
Public Owned Vacant Lots



60 Feet

AIKEN

Parcels



1410 W Martin Luther King Jr Dr Public Owned Vacant Lots

DR MARTIN LUTHER KING JR

1410 W MARTIN LUTHER KING JR DR 1808182002

1408 W MA TIN LUTHER KING JR DR 1808182903

1414 W MARTIN LUTHER KING JR DR 1808182001

1419 W JOHN H GWYNN JR AVE 1808482010

1417 W JOHN H GWYNN JR AVE 1808182011

60 Feet

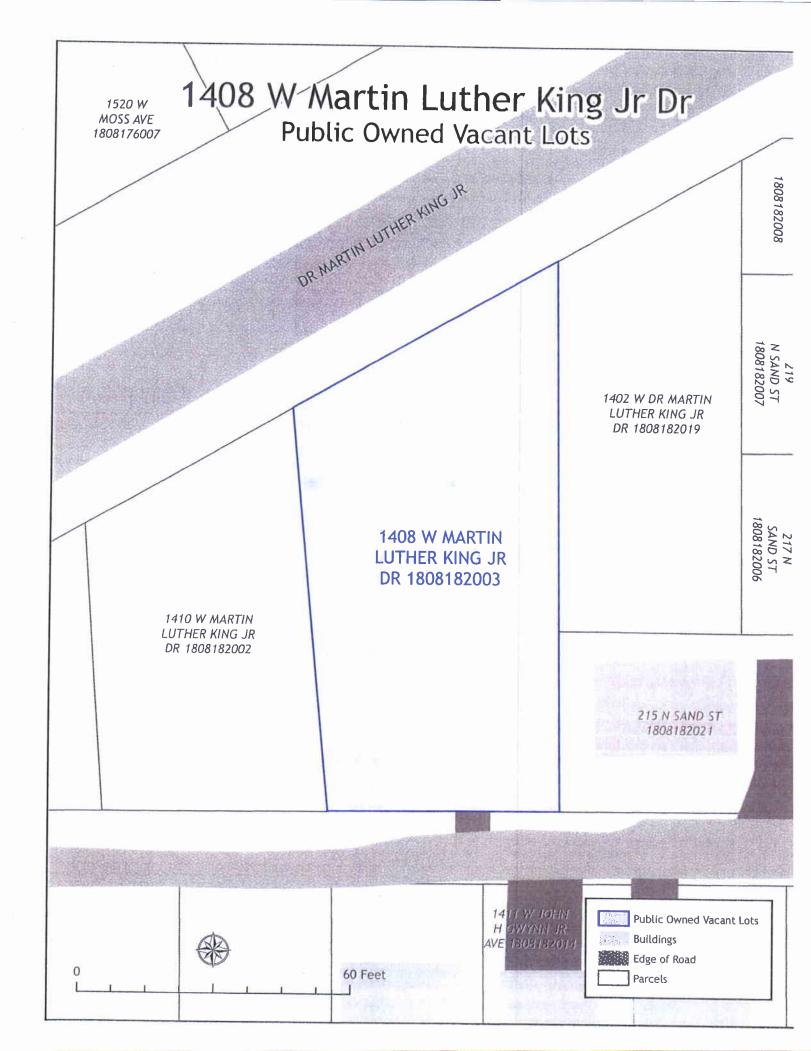
1415 W JOHN H GWYNN JR AVE 1808182012

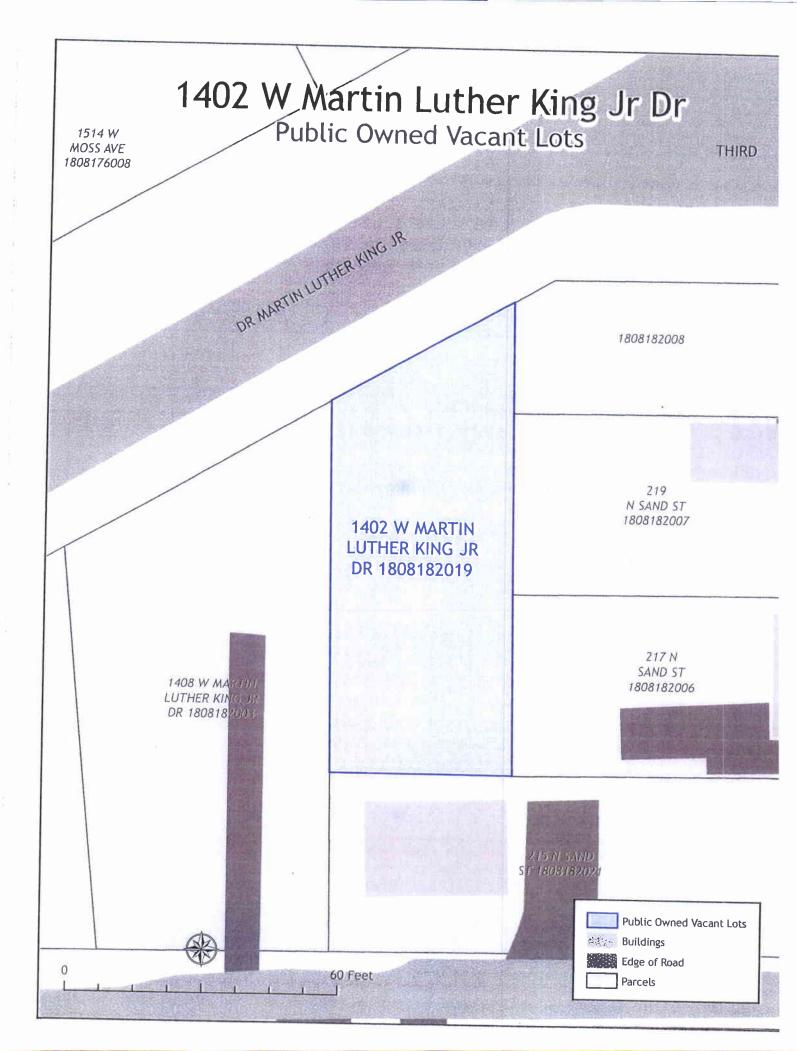


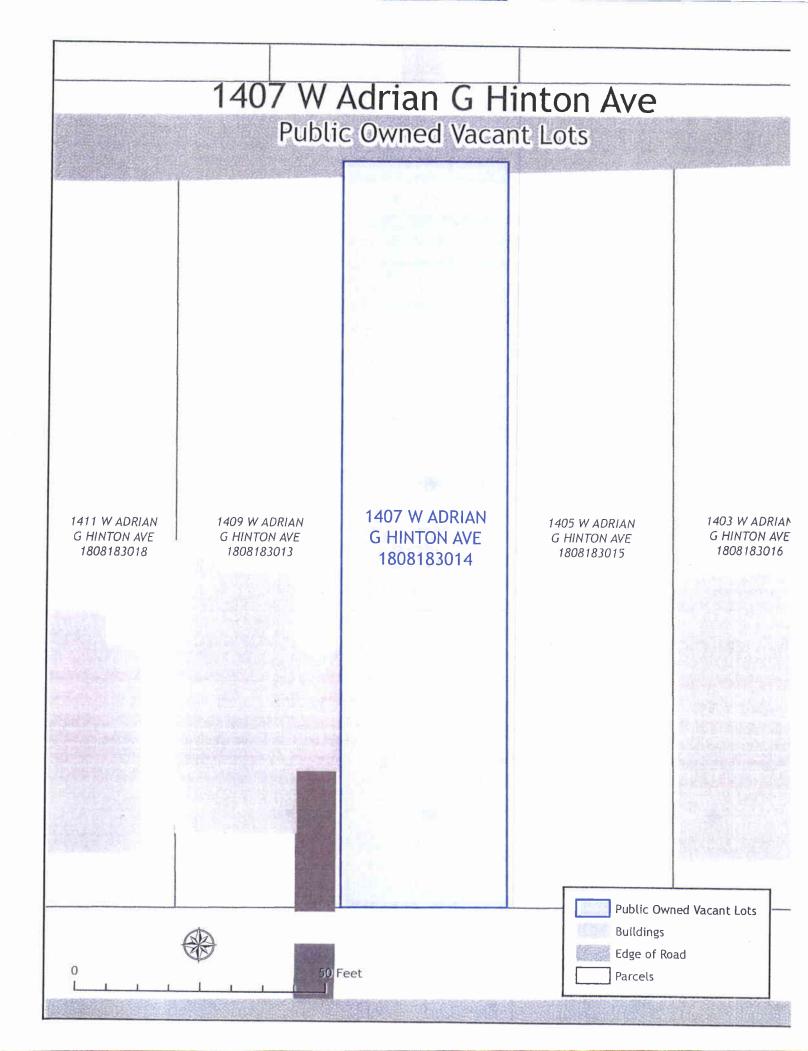
Public Owned Vacant Lots

Edge of Road **Parcels**

0







1405 W Adrian G Hinton Ave **Public Owned Vacant Lots** 1405 W ADRIAN 1409 W ADRIAN 1407 W ADRIAN 1401 W ADRIAI 1403 W ADRIAN G HINTON AVE G HINTON AVE **G HINTON AVE** G HINTON AVE G HINTON AVE 1808183013 1808183014 1808183017 1808183016 1808183015 Public Owned Vacant Lots Buildings Edge of Road 50 Feet **Parcels**

1407 W Aiken Ave Public Owned Vacant Lots

1404 W ADRIAN G HINTON AVE 1808184008

> 1402 W ADRIAN G HINTON AVE 1808184009

1400 W ADRIAN G HINTON AVE 1808184010

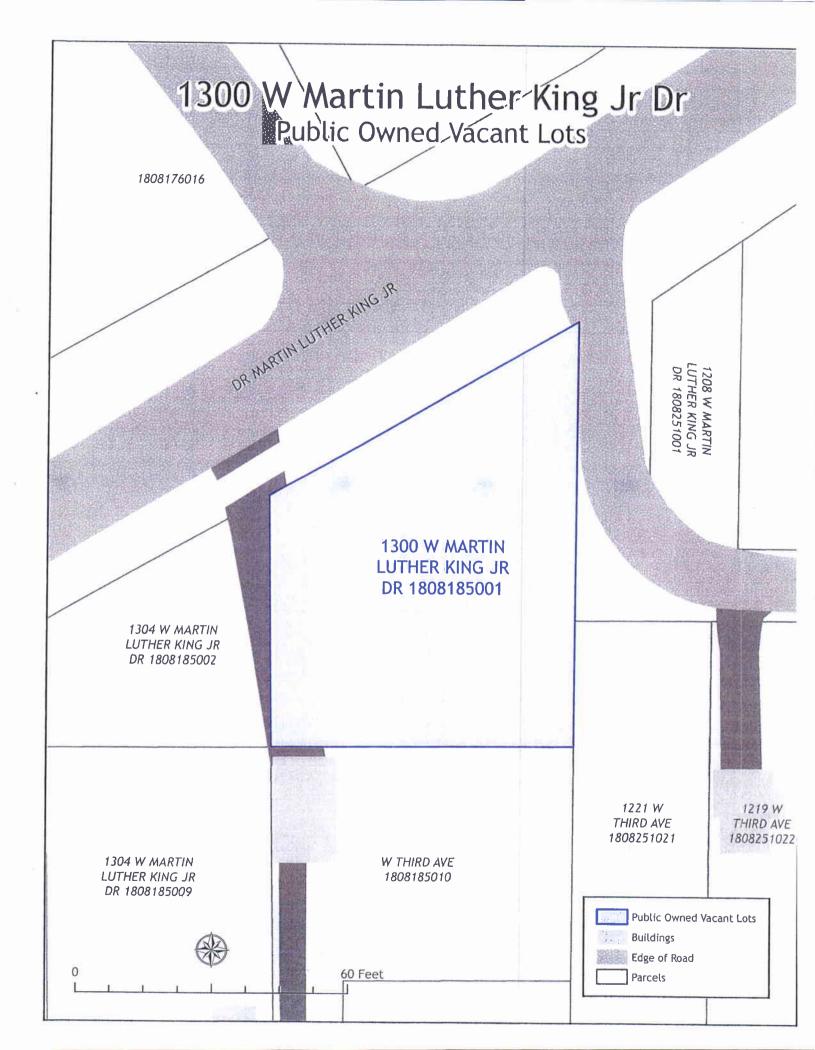
1409 W AIKEN AVE 1808184011

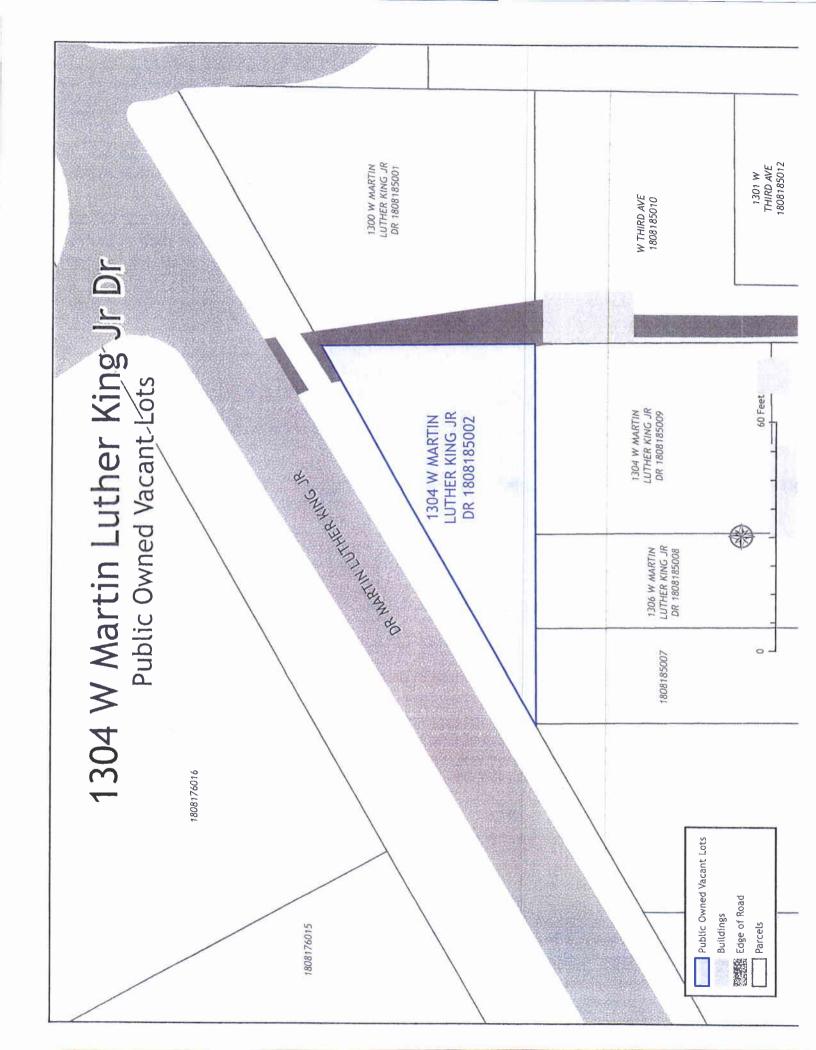
1407 W AIKEN AVE 1808184012

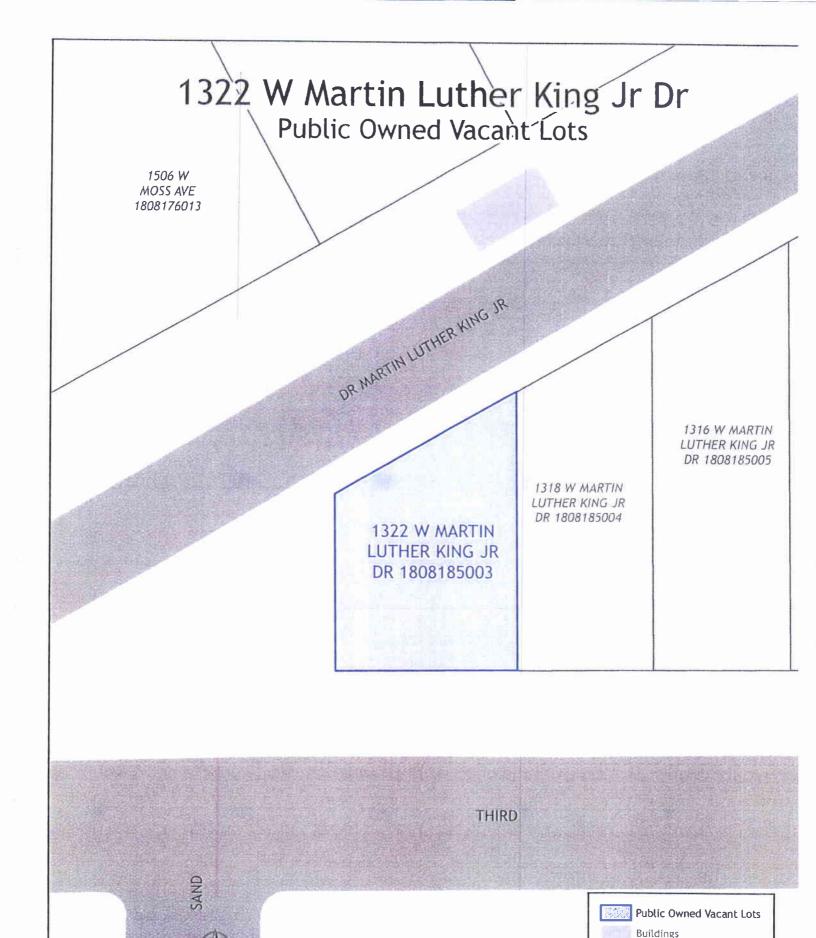
101 N SAND ST 18<mark>08184013</mark>

AIKEN

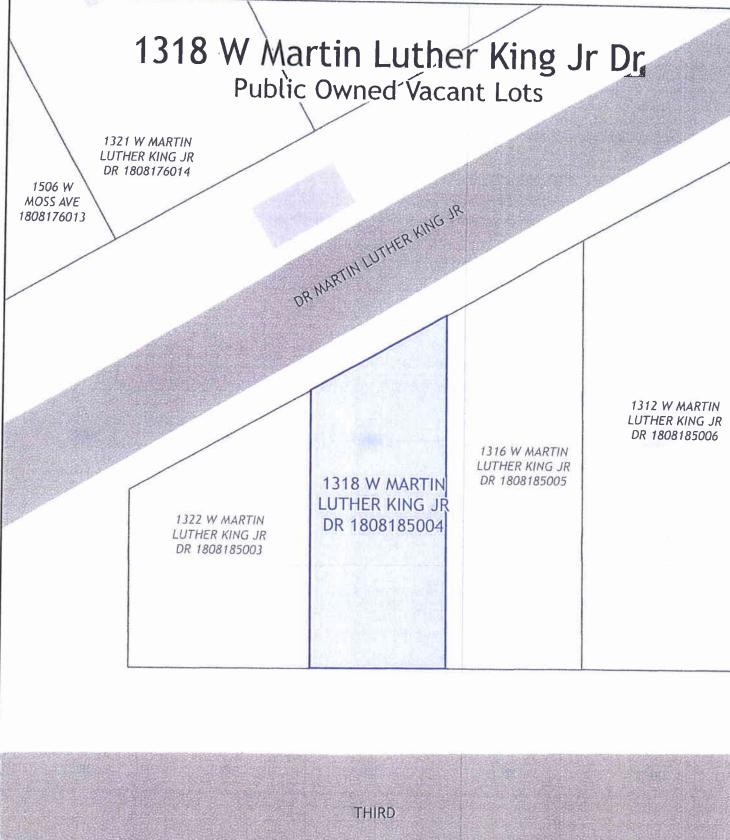
Public Owned Vacant Lots
Buildings
Edge of Road
Parcels

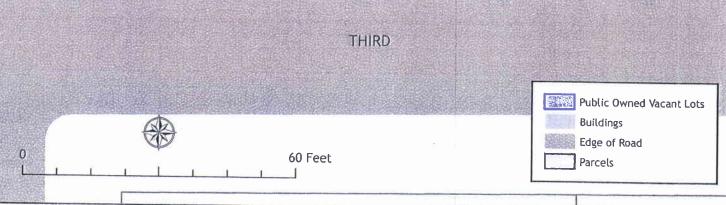


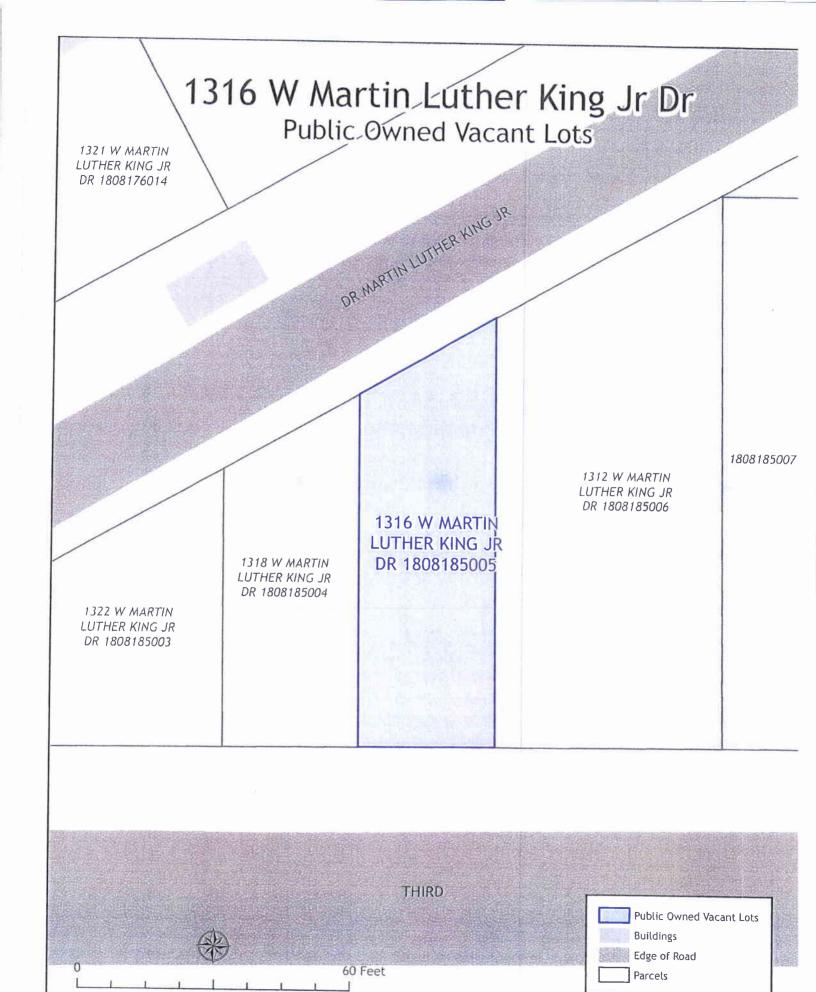


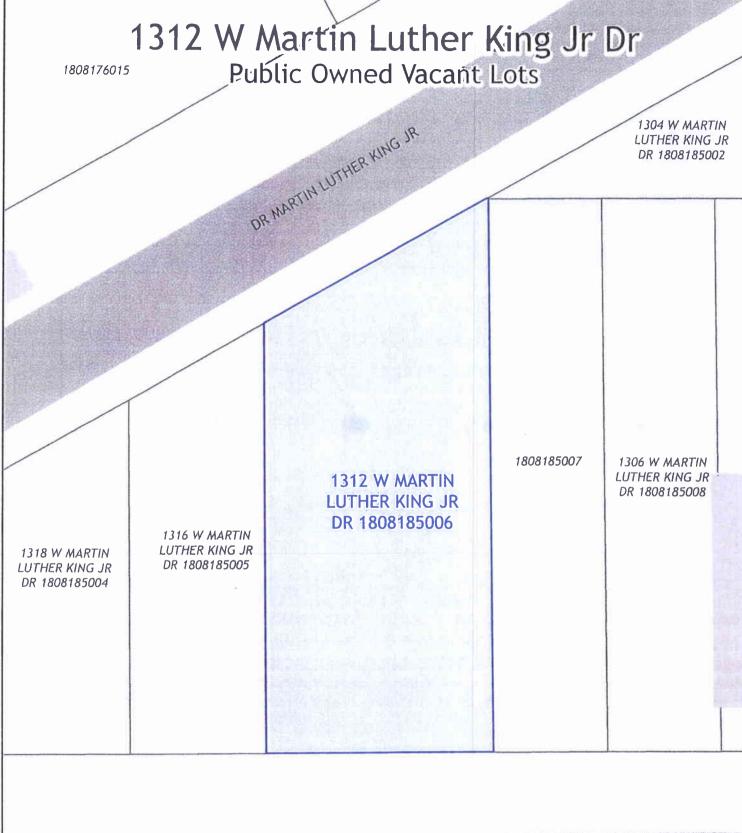


218 N SAND ST 1808186022 Edge of Road Parcels











1308 W Martin Luther King Jr Dr

Public Owned Vacant Lots

1304 W MARTIN LUTHER KING JR DR 1808185002

OR MARTIN LUTHER KING JR

308 W MARTIN LUTHER KING JR DR 1808185007

1304 W MARTIN LUTHER KING JR DR 1808185009

1312 W MARTIN LUTHER KING JR DR 1808185006

1306 W MARTIN LUTHER KING JR DR 1808185008

> 1307 W THIRD AVE 1808185011



THIRD

60 Feet



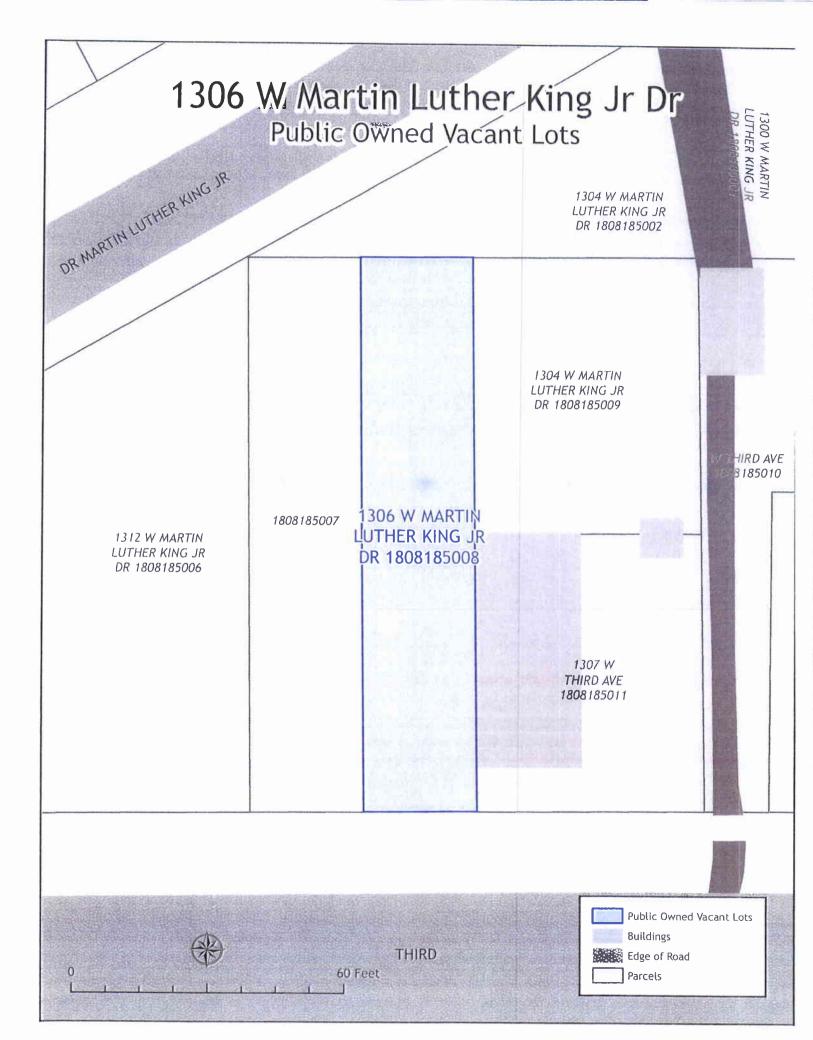
Public Owned Vacant Lots

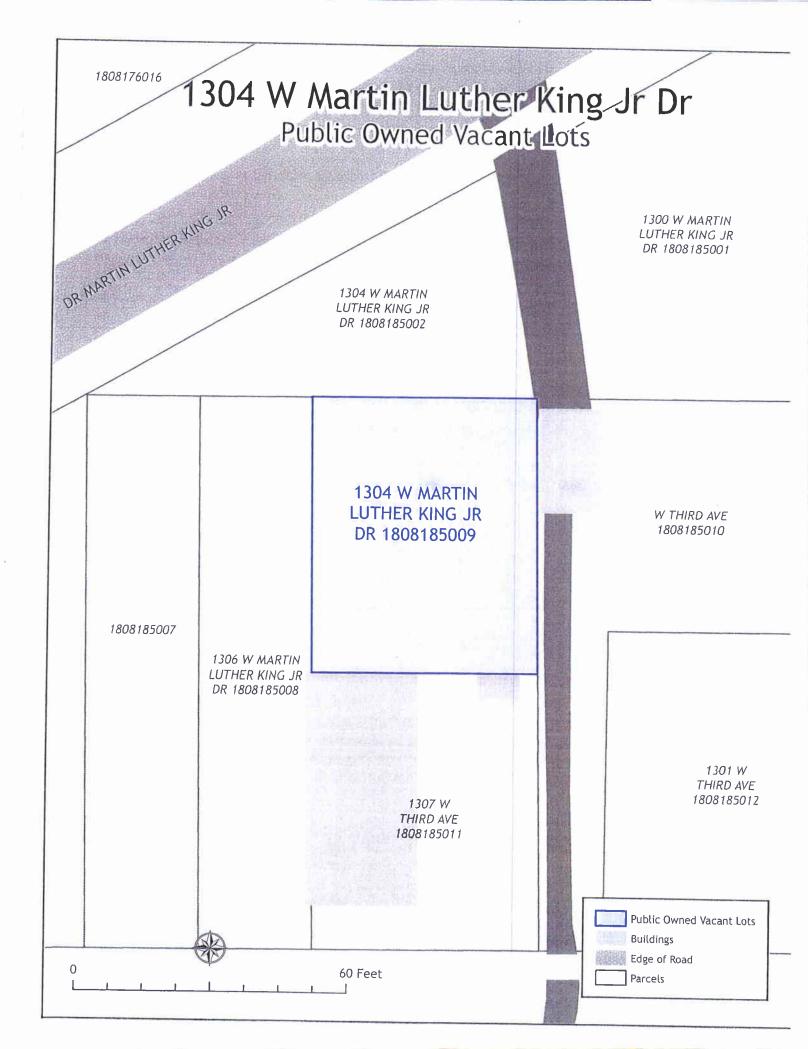
Buildings

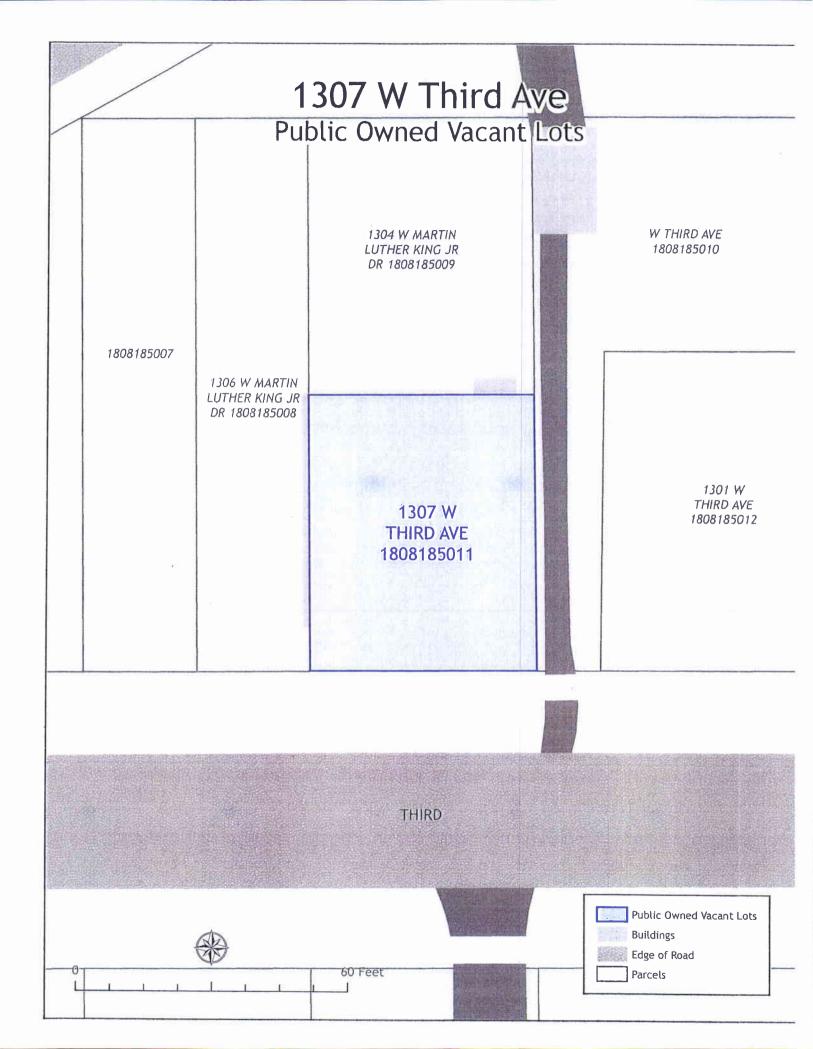


Edge of Road

Parcels







1316 W John H Gwynn Jr Ave Public Owned Vacant Lots

1319 W ADRIAN G HINTON AVE

1808187019

60 Feet

JOHN GWYNN JR

1316 W JOHN H **GWYNN JR AVE** W JOHN H GWYNN JR AVE GWYNN JR AVE 1808187001 1808187002 1808187003

Public Owned Vacant Lots

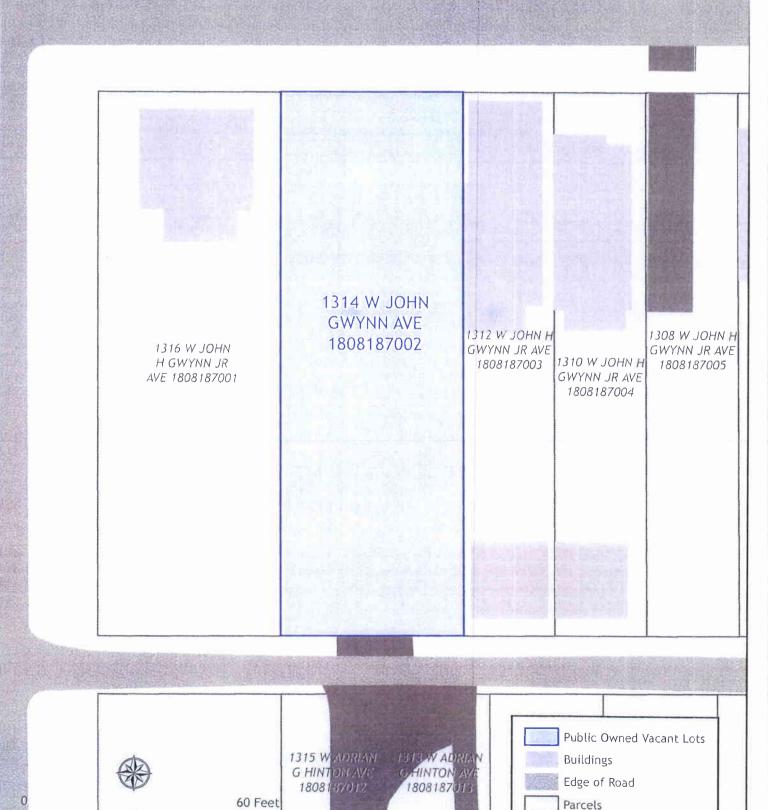
Buildings

Parcels

Edge of Road

SAND

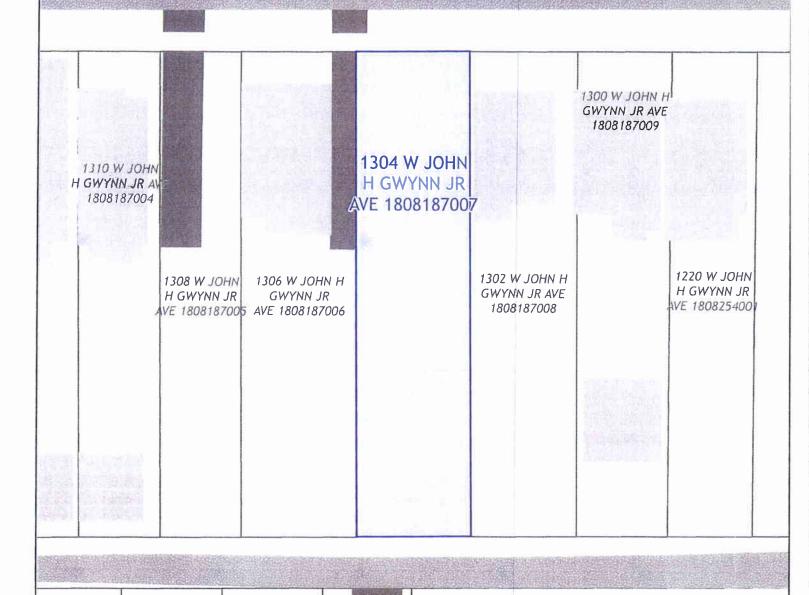
1314 W John H Gwynn Jr Ave Public Owned Vacant Lots JOHN GYWNN JR



1304 W John H Gwynn Jr Ave

Public Owned Vacant Lots

JOHN GWYNN JR



1201 W ADRIAN

G HINTON AVE

1808254011

Public Owned Vacant Lots

Buildings

Parcels

Edge of Road

1309 W ADRIAN G HINTON AVE 1808187015

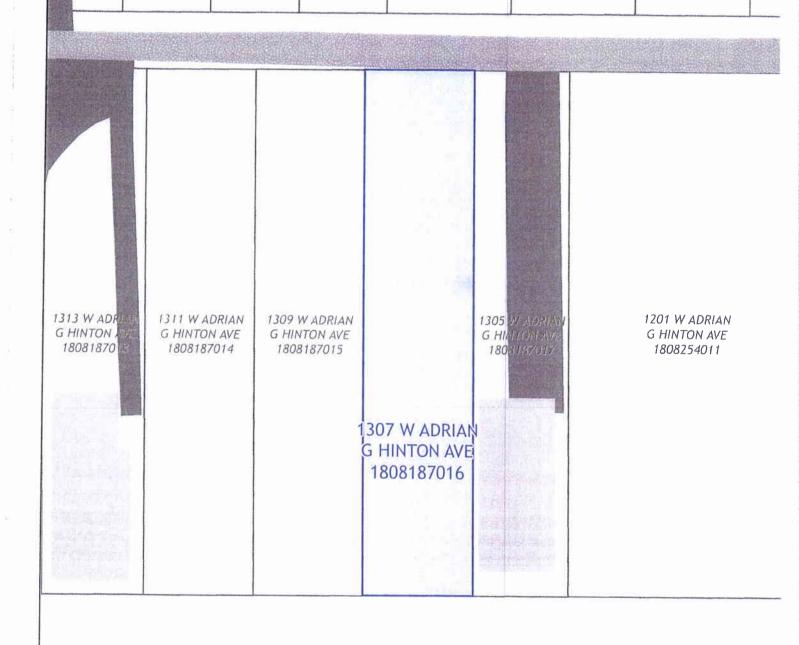
1307 W ADRIAN

G HINTON AVE

1808187016

80 Feet

1307 W Adrian G Hinton Ave



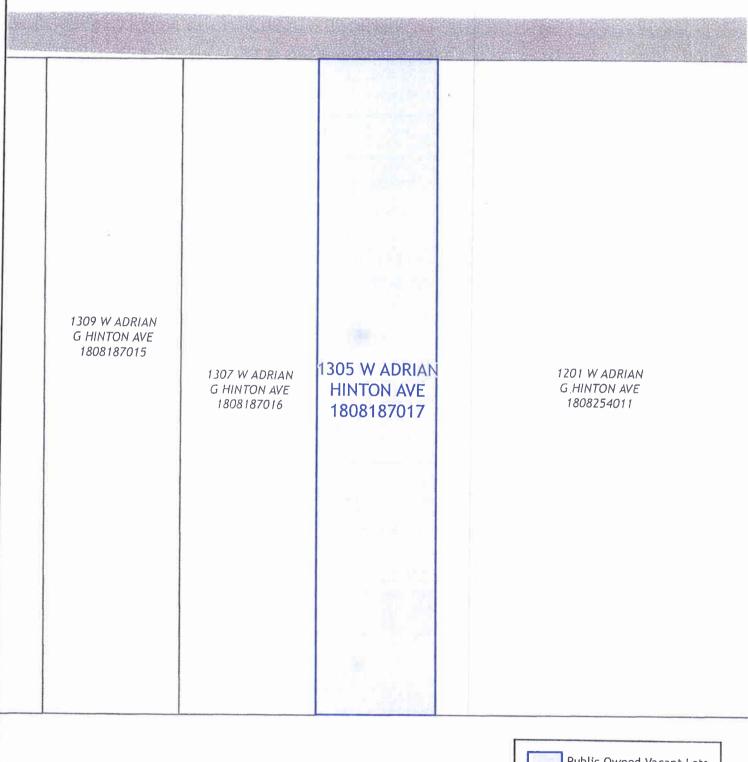


1310 W JOHN H GWYNN JR AVE 1808187004

1305 W Adrian G Hinton Ave

1300 W JOHN H GWYNN JR AVE 18081870C

Public-Owned-Vacant-Lots-



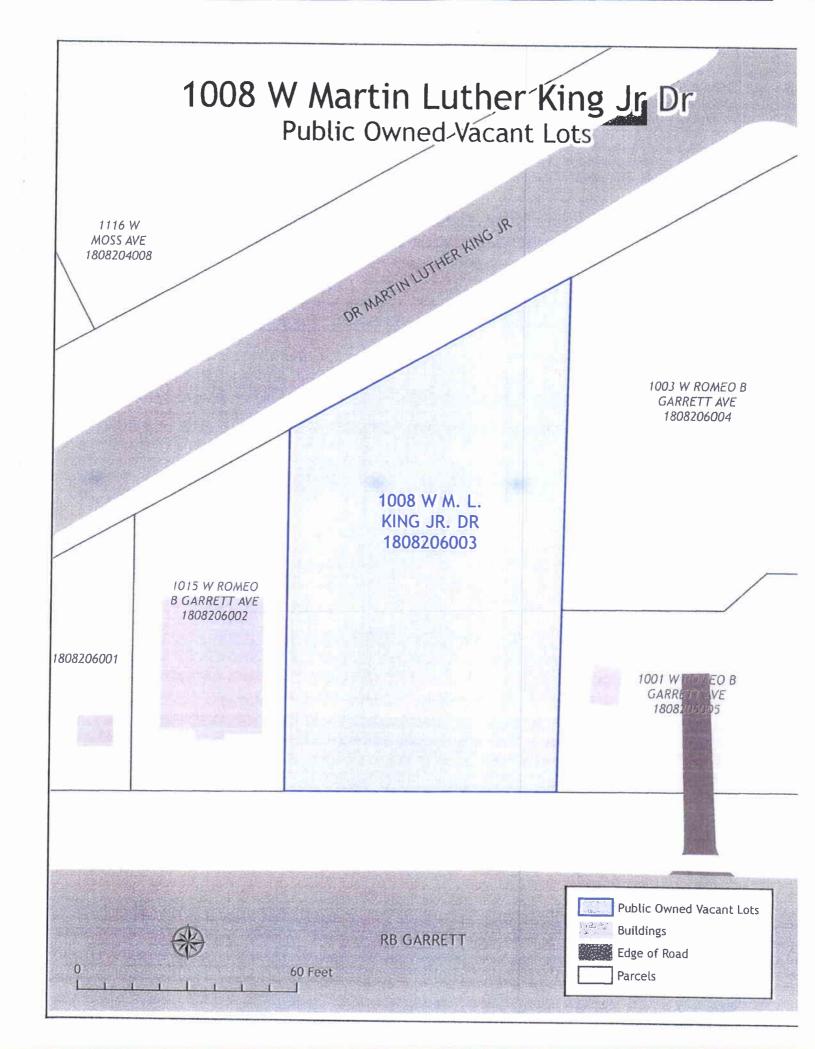
*

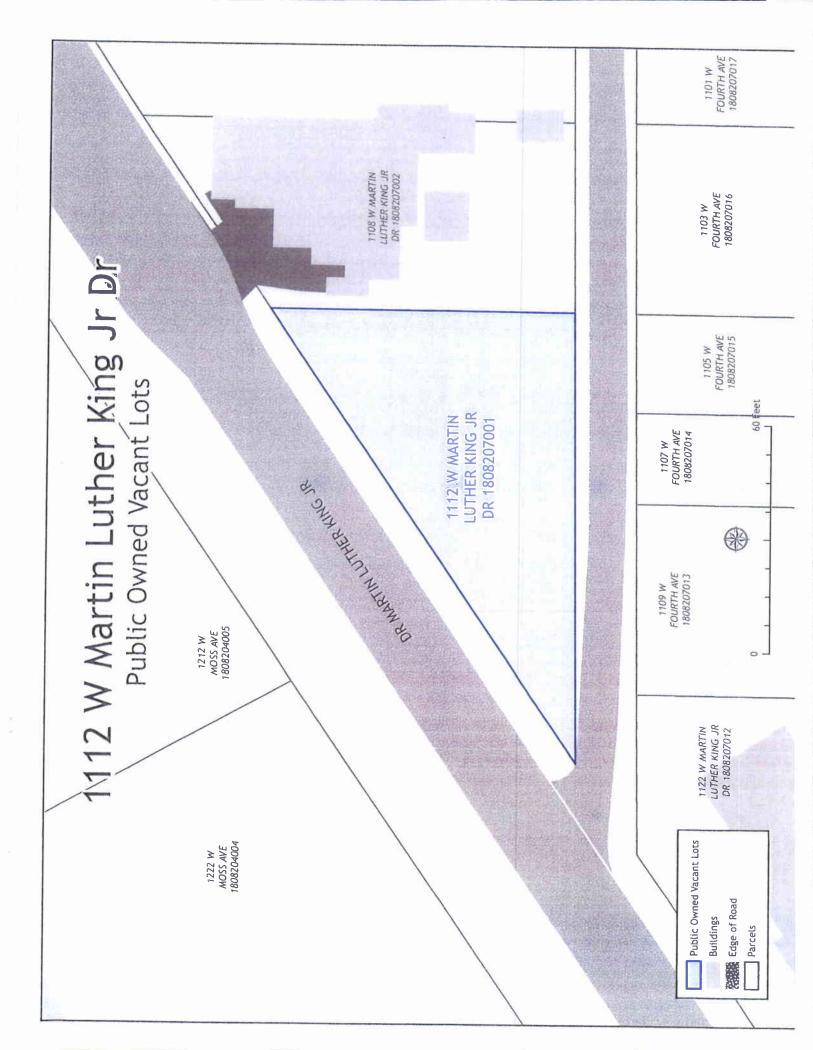
60 Feet ADI

ADRIAN G HINTON

Public Owned Vacant Lots
Buildings
Edge of Road
Parcels

1320 W Adrian G Hinton Ave Public Owned Vacant Lots ADRIAN G HINTON 1320 W ADRIAN 1314 W ADRIAN G HINTON AVE G HINTON AVE 1316 W ADRIAN 1808188003 G HINTON AVE 1808188001 1808188002 1319 W 1317 W 1315 W AIKEN AVE AIKEN AVE AIKEN AVE 1808188007 1808188008 1808188009 Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels

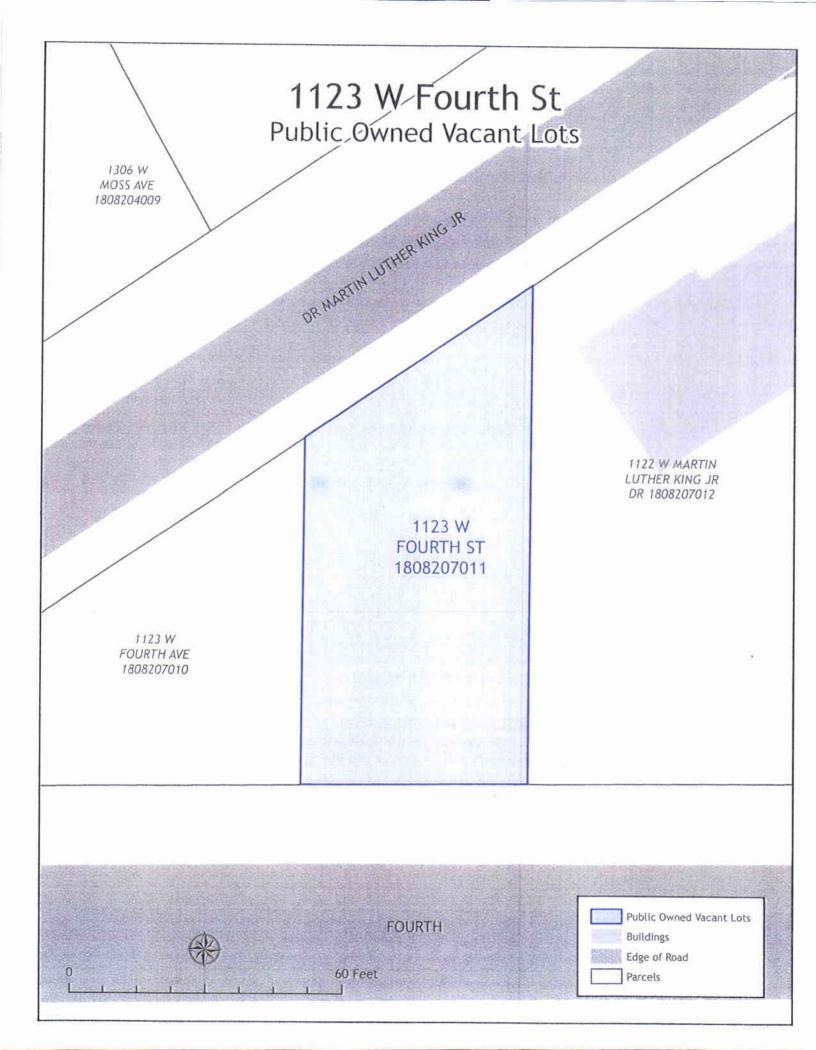




DR MARTIN LUTHER KING JR 1020 W Romeo B Garrett Ave Public Owned Vacant Lots **RB GARRETT** 1020 W ROMEO B **GARRETT AVE** 1808207006 1018 W ROMEO 1100 W MARTIN B GARRETT AVE LUTHER KING JR 1808207007 DR 1808207036 1029 W 1025 W 1023 W FOURTH ST FOURTH AVE FOURTH AVE 1808207019 1808207020 1808207021 1021 W 1019 W Public Owned Vacant Lots FOURTH AVE FOURTH AVE 1808207022 1808207023 Buildings Edge of Road 80 Feet Parcels

1008 W Romeo B Garrett Ave Public Owned Vacant Lots RB GARRETT 419 N SARATOGA ST 1808207028 417 N SARATOGA ST 1808207029 1018 W ROMEO 1008 W ROMEO **B GARRETT AVE** B GARRETT AVE 1808207007 1808207009 1808207008 415 N SARATOGA ST 1808207030 411 N SARATOGA ST 1808207031 Public Owned Vacant Lots 1011 W Buildings FOURTH AVE Edge of Road 1808207027 60 Feet **Parcels**

1123 W Fourth St Public Owned Vacant Lots 1306 W MOSS AVE 1808204009 OR MARTIN LUTHER WING JR 1123 W **FOURTH AVE** 1808207011 1123 W **FOURTH ST** 1808207010 **FOURTH** Public Owned Vacant Lots * Buildings Edge of Road 60 Feet Parcels



OR MARTIN OR MARTINE RING IR

1109 W Fourth St

1112 W MARTIN LUTHER KING JR DR 1808207001

Buildings
Edge of Road

Parcels

FOURTH

Rublic Owned Vacant Lots

1109 W 1107 W 1105 W 1122 W MARTIN **FOURTH ST FOURTH AVE** FOURTH AVE LUTHER KING JR 1808207014 1808207015 DR 1808207012 1808207013 Public Owned Vacant Lots

60 Feet

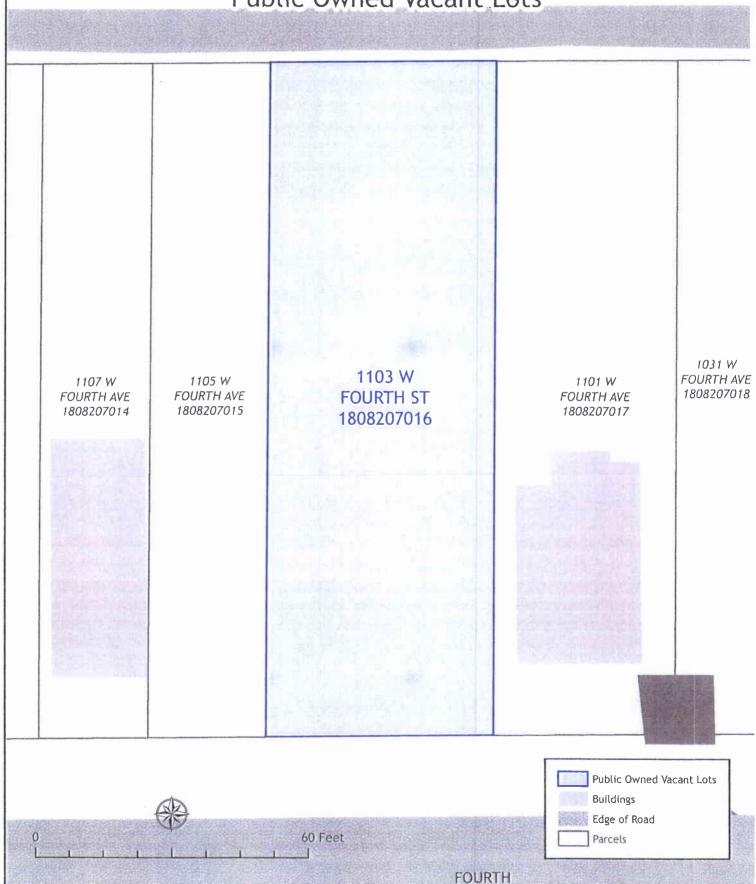
1112 W MARTIN 1105 W Fourth St LUTHER KING JR DR 1808207001 Public Owned Vacant Lots 1105 W 1101 W 1107 W 1103 W 1109 W **FOURTH ST FOURTH AVE FOURTH AVE FOURTH AVE FOURTH AVE** 1808207017 1808207014 1808207016 1808207015 1808207013 Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels FOURTH

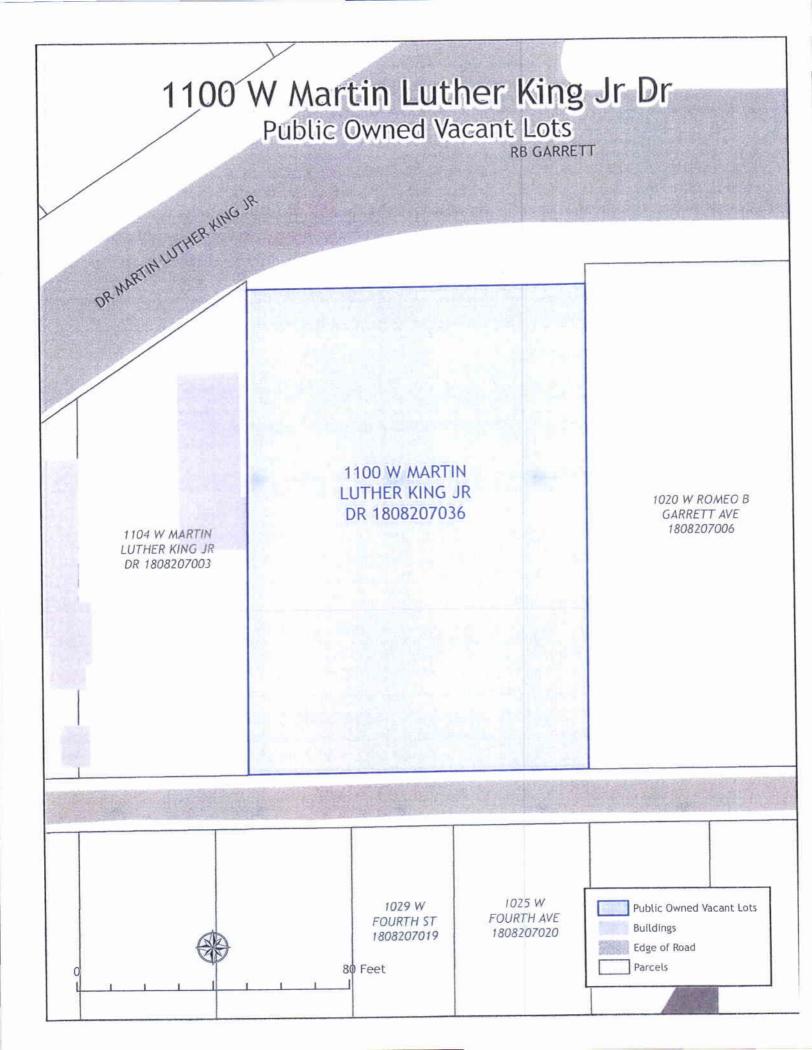
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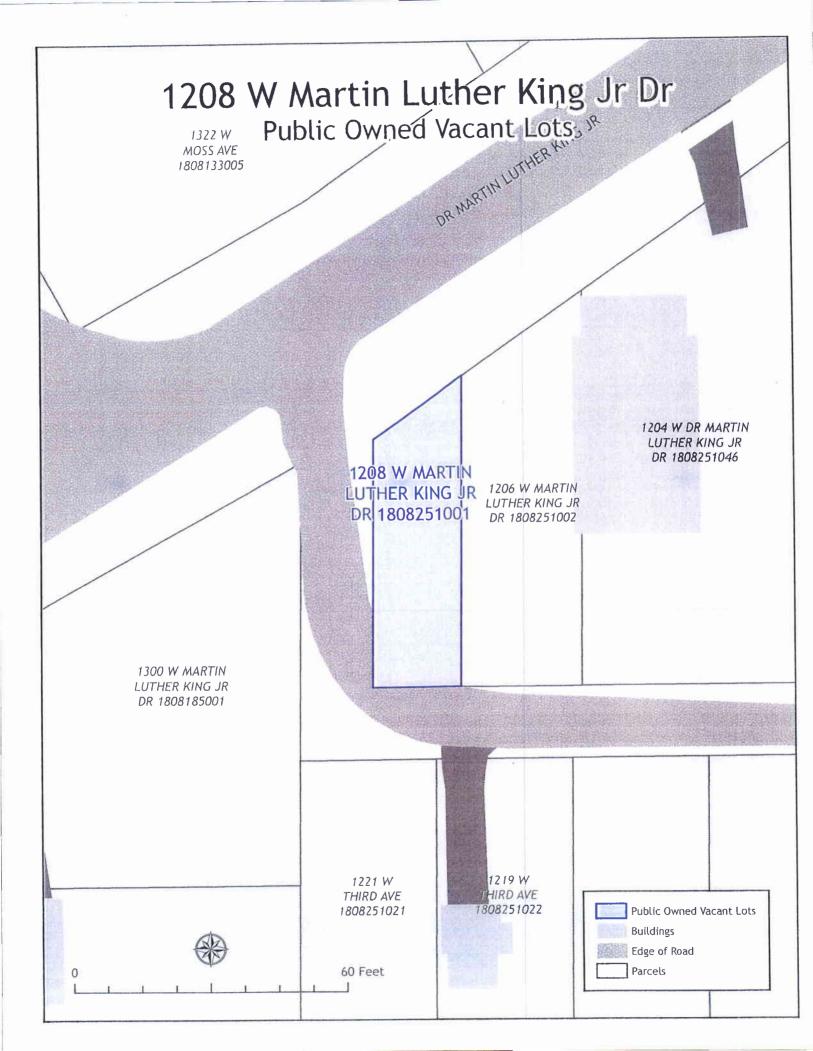
1103 W Fourth St

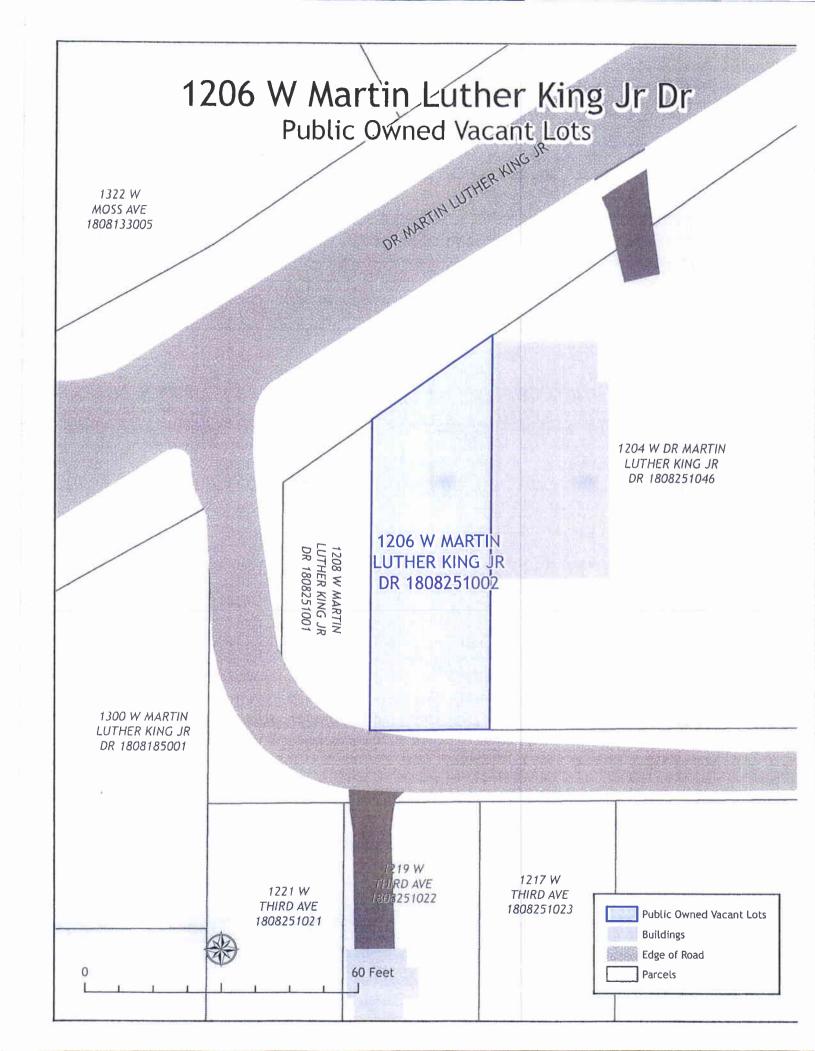
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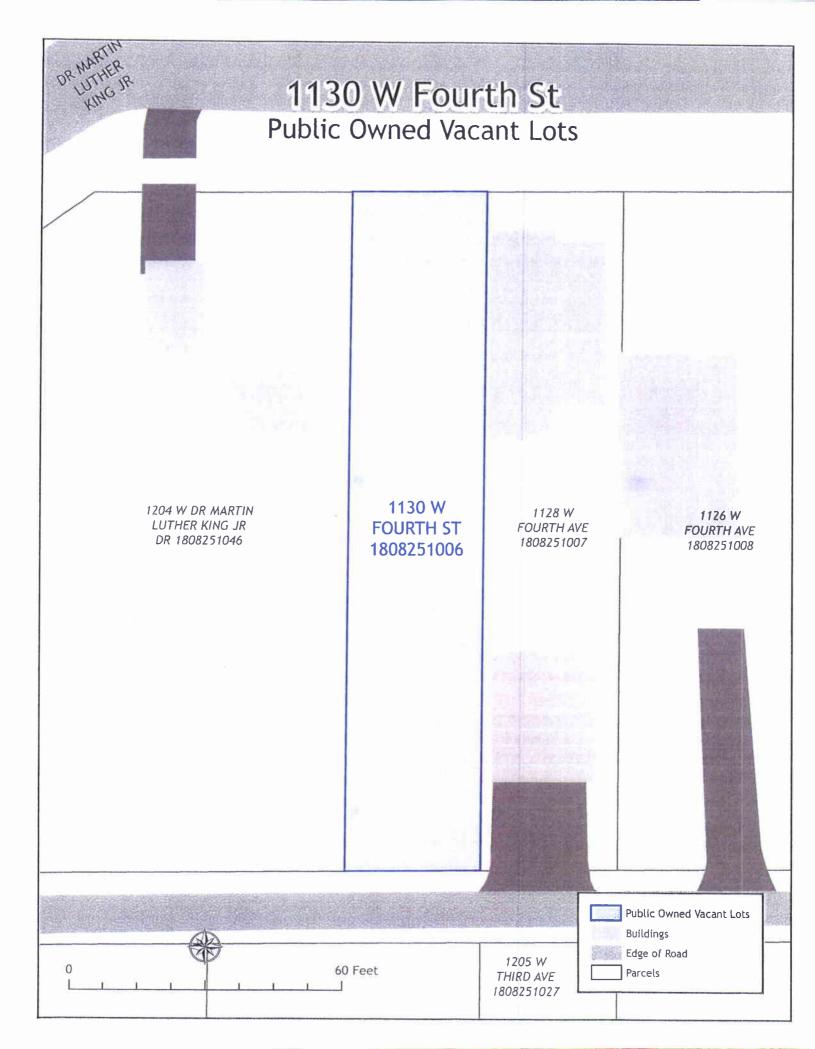
Public Owned Vacant Lots





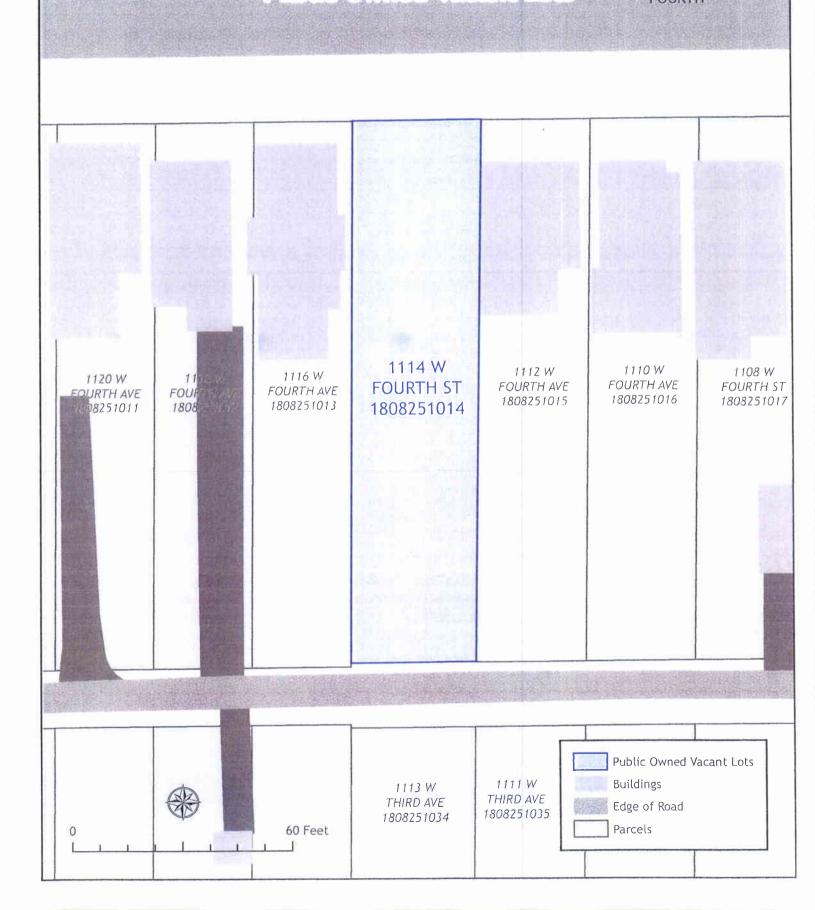


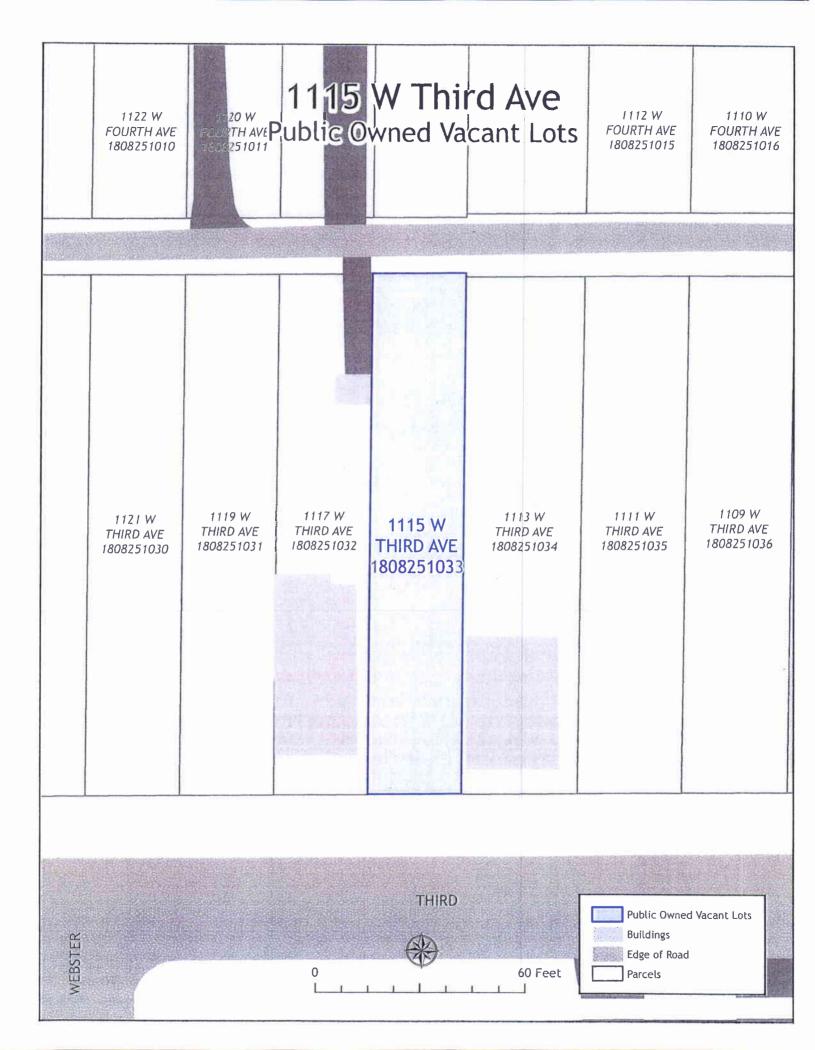


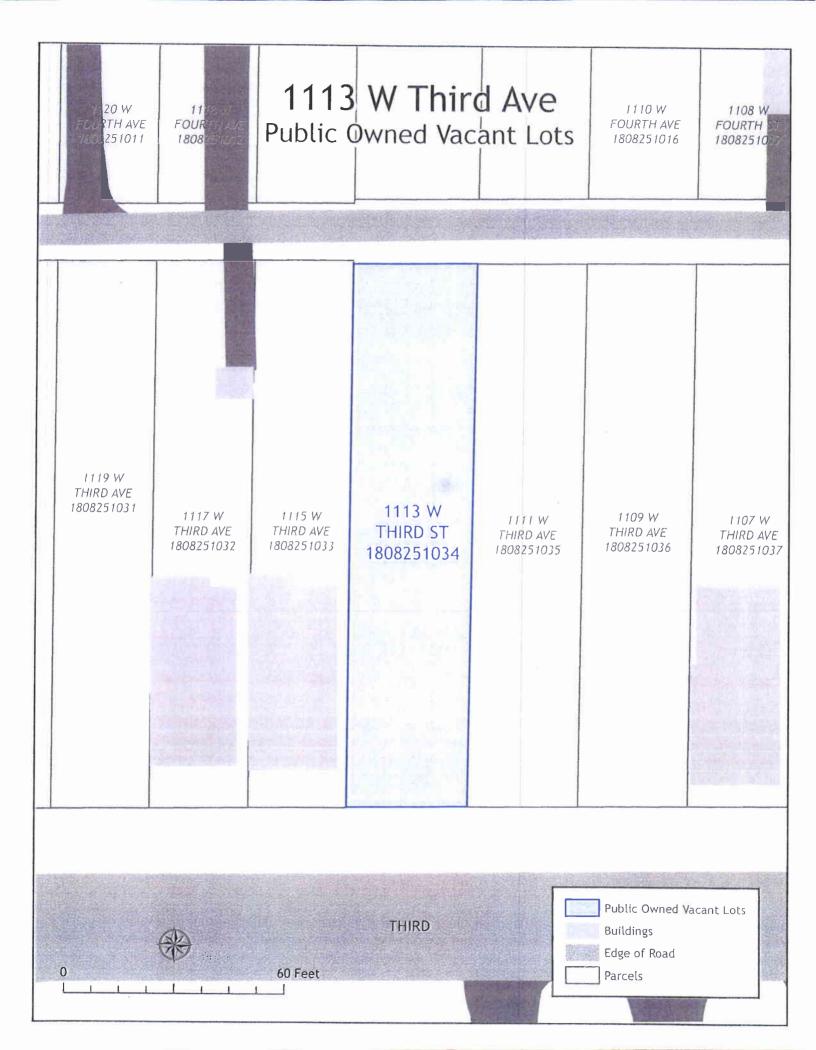


1114 W Fourth St Public Owned Vacant Lots

FOURTH



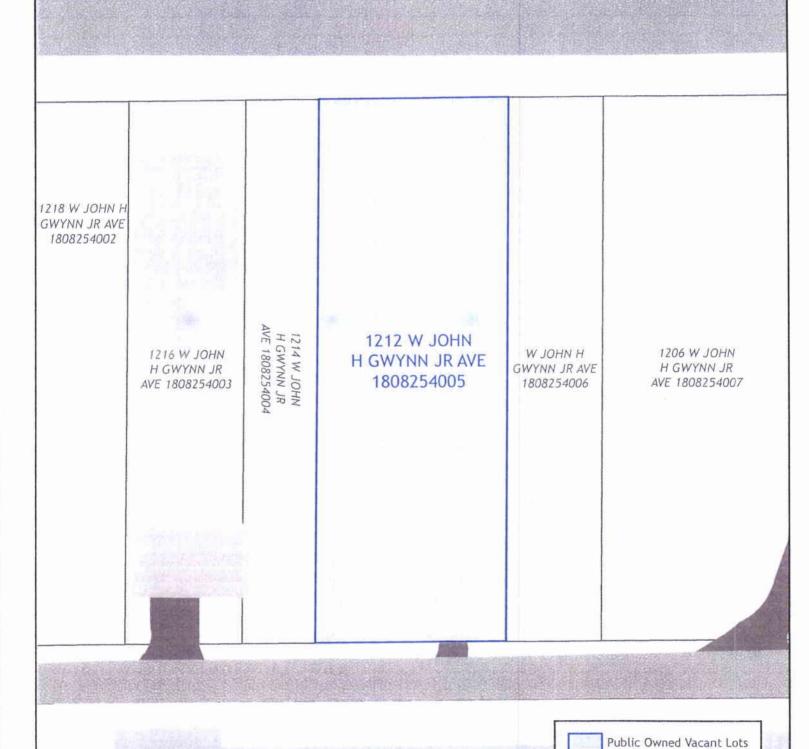




1111 W Third Ave 111 **FOURT** 1108 W 1106 W 1116 W 18082 **FOURTH** FOURTH AVE FOURTH AVE Public Owned Vacant Lots 180825193 1808251018 1808251013 1111 W 1117 W 1115 W 1109 W 1107 W 1113 W THIRD AVE THIRD AVE THIRD AVE THIRD AVE THIRD AVE THIRD AVE 1808251032 1808251033 1808251036 1808251037 1808251034 1808251035 Public Owned Vacant Lots THIRD Buildings Edge of Road 60 Feet Parcels

1212 W John H Gwynn Jr Ave Public Owned Vacant Lots

JOHN GYWNN JR





1201 W ADRIAN G HINTON AVE 1808254011

60 Feet

Buildings Edge of Road

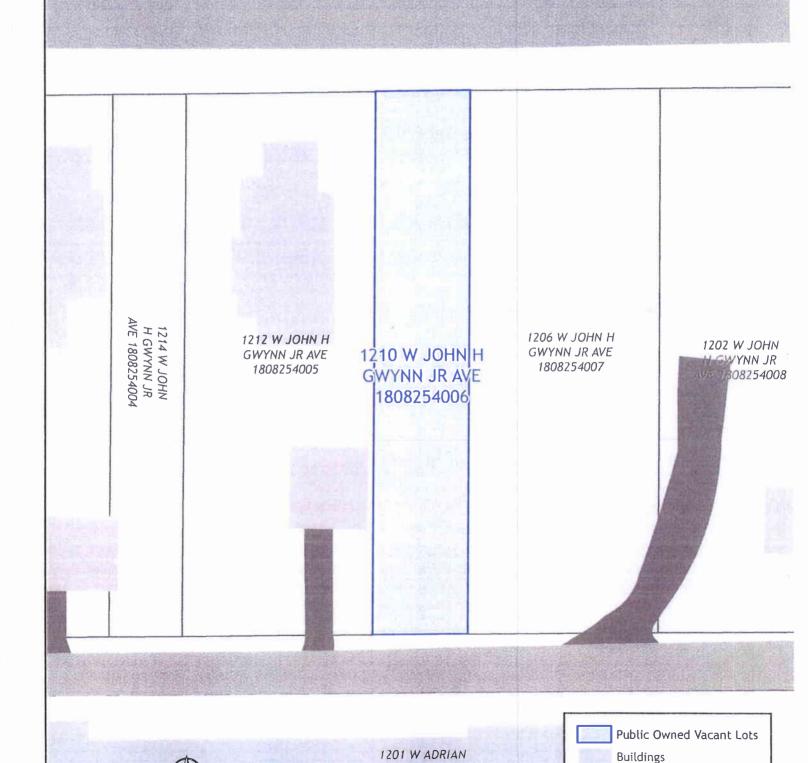
Parcels

1210 W John H Gwynn Jr Ave Public Owned Vacant Lots

JOHN GYWNN JR

Edge of Road

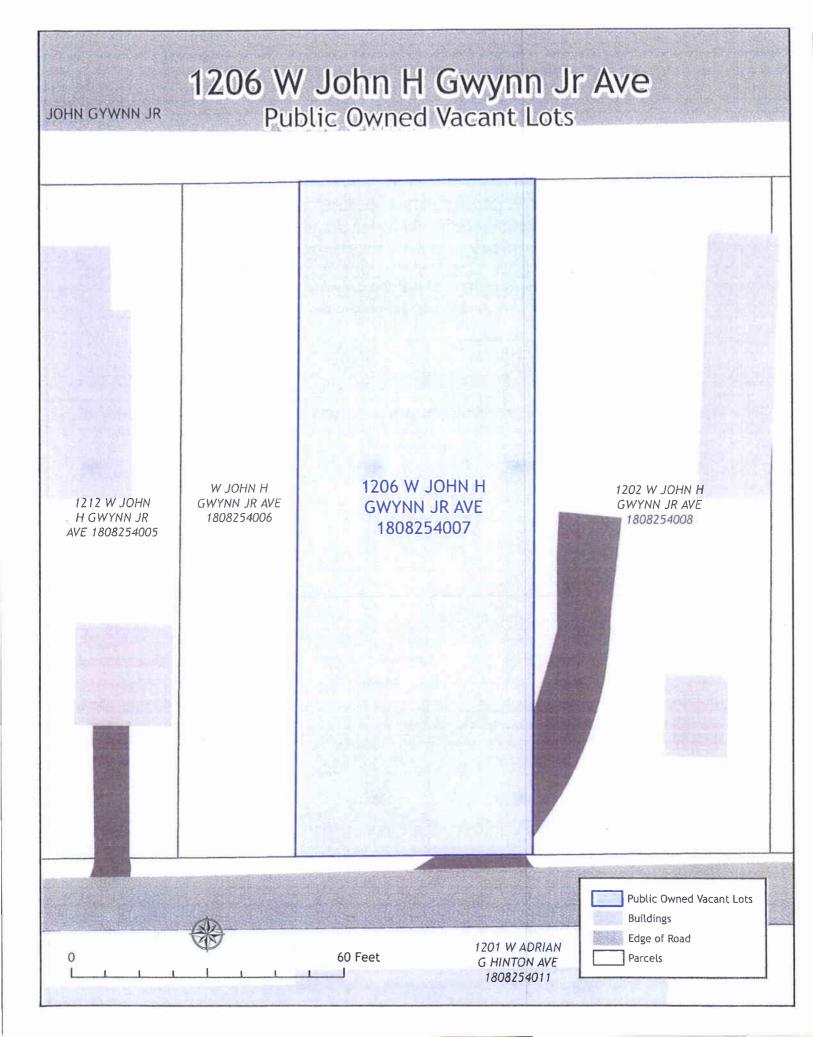
Parcels



G HINTON AVE

1808254011

60 Feet

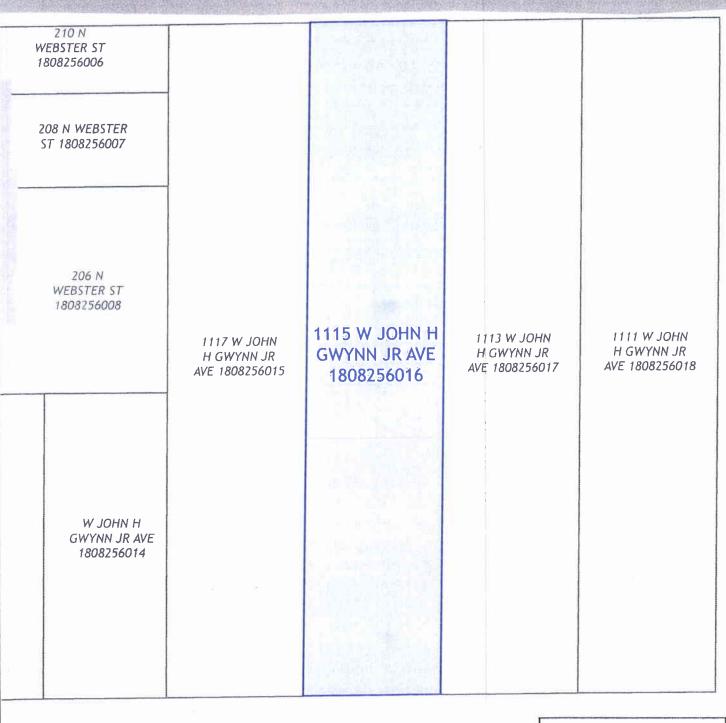


212 N WEBSTER ST 1808256005

1115 W John H Gwynn Jr Ave 1808256012

1108 W THIRD AVE 1808256012

Public Owned Vacant Lots



*

60 Feet

JOHN GYWNN JR

Public Owned Vacant Lots

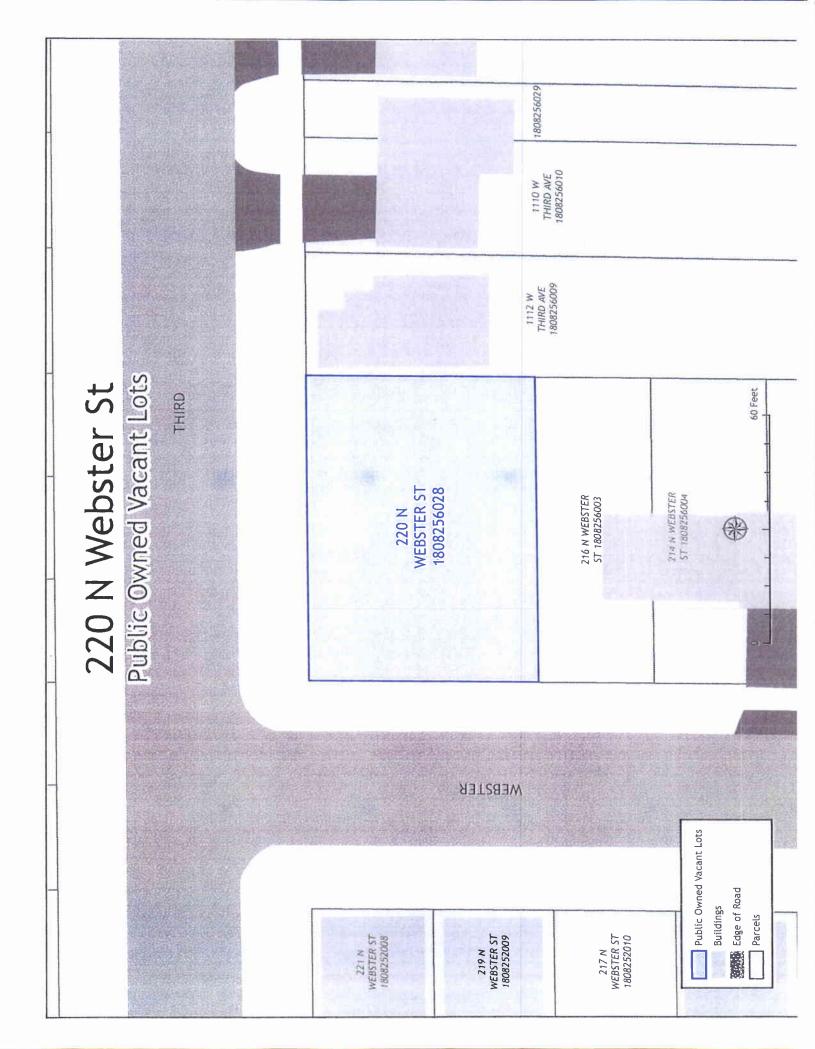


Parcels

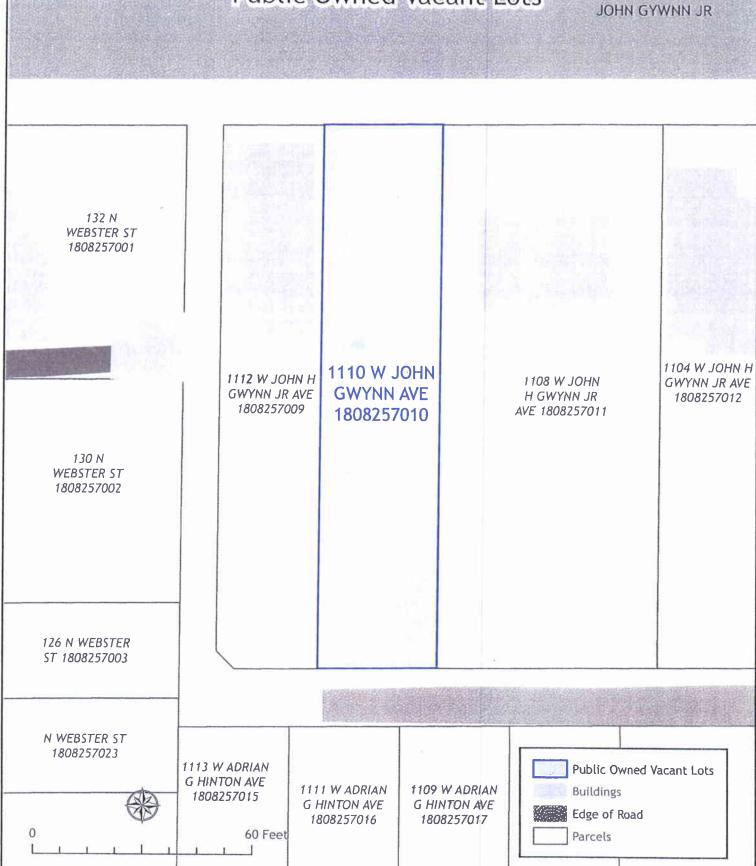
Public Owned Vacant Lots Edge of Road CHARLTON Buildings Parcels 217 N Charlton St Public Owned Vacant Lots 217 N CHARLTON ST 1808256021 215 N CHARLTON ST 1808256022 213 N CHARLTON ST 1808256023 219 N CHARLTON ST 1808256020 8 1108 W THIRD AVE 1808256012 1808256030

Public Owned Vacant Lots Edge of Road ИОТЛЯАНО Buildings Parcels 213 N Charlton St Public Owned Vacant Lots 2.1.3 N CHARLTON ST 1.808256023 215 N CHARLTON ST 1808256022 211 N CHARLTON ST 1808256024 8 1111 W JOHN H GWYNN JR AVE 1808256018 1108 W THIRD AVE 1808256012 1113 W JOHN H GWYNN JR AVE 1808256017 1808256030

Public Owned Vacant Lots **СНА**В**ГТО**И Edge of Road Buildings Parcels 211 N Charlton St Public Owned Vacant Lots 213 N CHARLTON ST 1808256023 CHARLTON ST 1808256024 209 N CHARLTON ST 1808256025 207 N CHARLTON ST 1808256026 211 N @ 1108 W THIRD AVE 1808256012 1111 W JOHN H GWYNN JR AVE 1808256018 1808256030 1113 W JOHN H GWYNN JR AVE 1808256017



1110 W John H Gwynn Jr Ave Public Owned Vacant Lots



1102 W John H Gwynn Jr Ave Public Owned Vacant Lots

1102 W JOHN 1100 W JOHN **GWYNN AVE** H GWYNN JR 1808257013 AVE 1808257014 1108 W JOHN H GWYNN JR AVE 1808257011 1104 W JOHN H GWYNN JR AVE 1808257012 129 N CHARLTON ST 1808257020 Public Owned Vacant Lots Buildings Edge of Road Parcels 6b Feet

1109 W Adrian G Hinton Ave

Public Owned Vacant Lots

W ADRIAN G HINTON AVE 1808257025 1109 W ADRIAN 1107 W ADRIAN 1113 W ADRIAN 1111 W ADRIAN G HINTON AVE G HINTON AVE **HINTON AVE** G HINTON AVE 1808257018 1808257016 1808257015 1808257017 W ADRIAN G HINTON AVE 1808257026

®

60 Feet

ADRIAN G HINTON





Parcels

1107 W Adrian G Hinton Ave

Public Owned Vacant Lots

W ADRIAN G HINTON AVE 1808257025 1111 W ADRIAN G HINTON AVE 1808257016 1107 W ADRIAN 1109 W ADRIAN G HINTON AVE **HINTON AVE** 1808257017 1808257018 W ADRIAN G HINTON AVE 1808257026 Public Owned Vacant Lots









Edge of Road

60 Feet

1101 W Adrian G Hinton Ave Public Owned Vacant Lots

W ADRIAN G HINTON AVE 1808257025

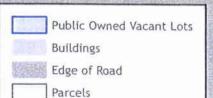
123 N CHARLTON ST 1808257021

W ADRIAN G HINTON AVE 1808257026

> 1101 W ADRIAN **G HINTON AVE** 1808257022

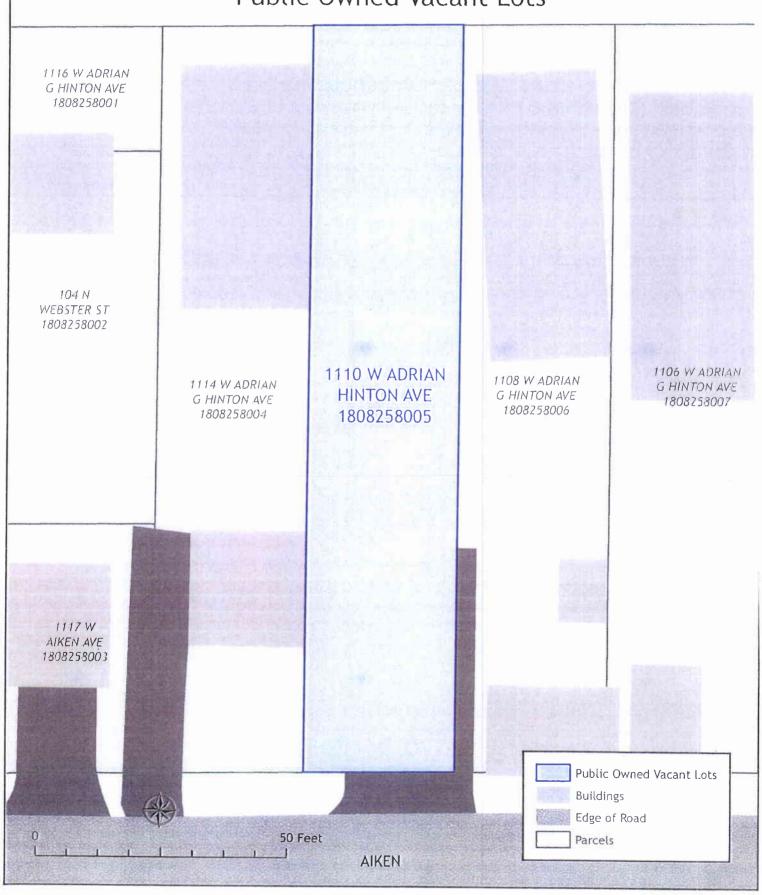
ADRIAN G HINTON

50 Feet



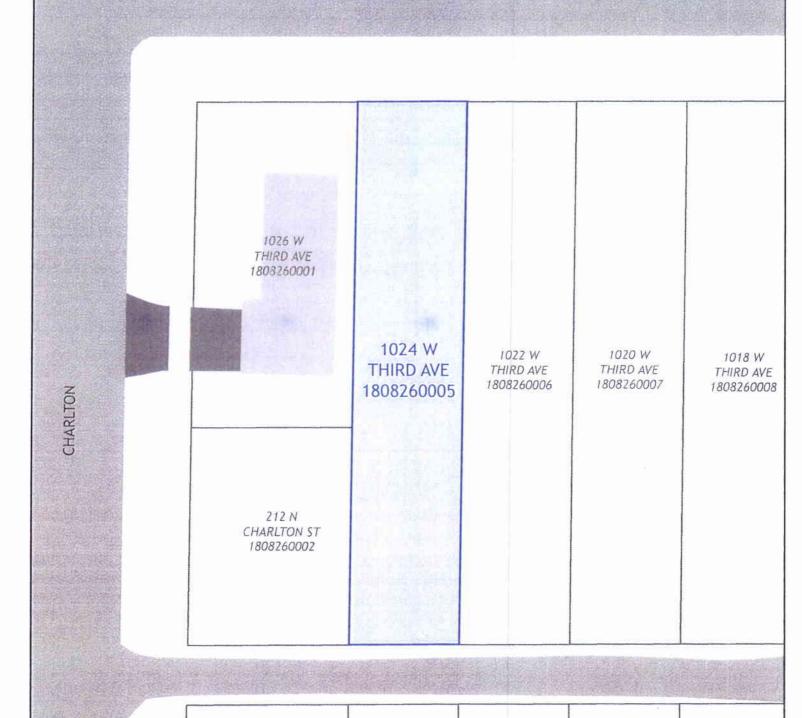
1110 W Adrian G Hinton Ave

Public Owned Vacant Lots



1024 W Third Ave **Public Owned Vacant Lots**

THIRD





60 Feet

1025 W JOHN H GWYNN JR AVE 1808260009

1023 W JOHN H GWYNN JR AVE 1808260010

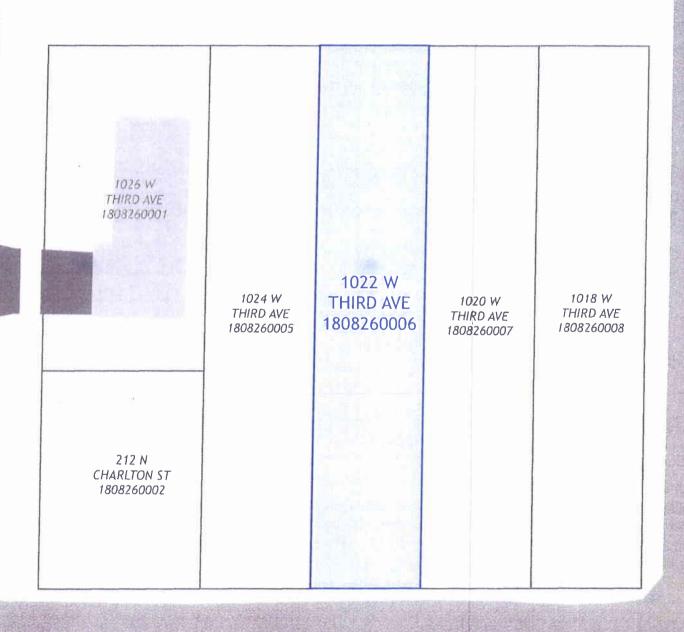


Edge of Road

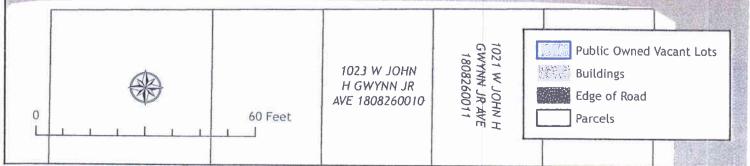
Parcels

1022 W Third Ave Public Owned Vacant Lots

THIRD



ANE



1020 W Third Ave **Public Owned Vacant Lots** THIRD 1026 W 1014 W THIRD AVE THIRD AVE 1808260001 1808264001 1020 W 1022 W 1018 W 1024 W THIRD AVE THIRD AVE THIRD AVE THIRD AVE 1808260008 1808260005 1808260006 1808260007 212 N CHARLTON ST 1808260002 1808264005 Public Owned Vacant Lots 1021 W JOHN 303 **Buildings** H GWYNN JR N KANE ST Edge of Road AVE 1808260011 1808260012 60 Feet Parcels

1018 W Third Ave Public Owned Vacant Lots THIRD 1014 W THIRD AVE 1808264001 1018 W 1024 W 1022 W 1020 W THIRD AVE THIRD AVE THIRD AVE THIRD AVE 1808260005 1808260006 1808260007 1808260008 1808264005 1021 W JOHN Public Owned Vacant Lots H GWYNN JR 303 N **Buildings** AVE 1808260011 KANE ST Edge of Road

1808260012

Parcels

60 Feet

1021 W John H Gwynn Jr Ave 212 N Public Owned Vacant Lots CHARLTON ST 1808260002 1808264005 208 N KANE ST 208 N 303 1808264006 CHARLTON ST N KANE ST 1808260003 1808260012 206 N KANE ST 1808264007 1025 W JOHN H 1023 W JOHN H 1021 W JOHN GWYNN JR AVE GWYNN JR AVE H GWYNN JR 1808260010 1808260009 AVE 1808260011 1015 W JOHN H GWYNN JR AV. 1808264008 1029 W JOHN H GWYNN JR AVE 1019 W JOHN H 1808260004 GWYNN JR AVE 1808260013 Public Owned Vacant Lots JOHN GWYNN JR Buildings Edge of Road 60 Feet Parcels

303 N Kane St Public Owned Vacant Lots 1022 W THIRD AVE 1808260006 1020 W THIRD AVE 1018 W 1808260007 THIRD AVE 1808264005 1808260008 208 N KANE ST 1808264006 303 N KANE ST 1808260012 206 N KANE ST 1808264007 1021 W JOHN H 1023 W JOHN GWYNN JR AVE H GWYNN JR 1808260011 AVE 1808260010 1015 W JOHN H GWYNN JR AVE 1808264008 1019 W JOHN H GWYNN JR AVE 1808260013 Public Owned Vacant Lots Buildings Edge of Road 50 Feet Parcels

1808264005 1019 W John H Gwynn Jr Ave Public Owned Vacant Lots 208 N KANE ST 1808264006 303 N KANE ST 1808260012 206 N KANE ST 1808264007 1023 W JOHN 1021 W JOHN H GWYNN JR H GWYNN JR AVE 1808260010 AVE 1808260011 1015 W JOHN 1019 W JOHN H H GWYNN JR AVE 1808264008 **GWYNN JR AVE** 1808260013 JOHN GWYNN JR Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels

1029 W Adrian G Hinton Ave Public Owned Vacant Lots 1029 W ADRIAN 1027 W ADRIAN 1025 W ADRIAN HINTON AVE G HINTON AVE G HINTON AVE 1808261007 1808261008 1808261006 Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels ADRIAN G HINTON

1027 W Adrian G Hinton Ave

1029 W ADRIAN G HINTON AVE 1808261006

027 W ADRIAN **HINTON AVE** 1808261007

1025 W ADRIAN G HINTON AVE 1808261008

1023 W ADRIAN G HINTON AVE 1808261009

60 Feet





Parcels

1025 W Adrian G Hinton Ave

Public Owned Vacant Lots

1025 W ADRIAN 1029 W ADRIAN 1027 W ADRIAN 1023 W ADRIAN 1021 W ADRIAN **HINTON AVE** G HINTON AVE G HINTON AVE G HINTON AVE G HINTON AVE 1808261009 1808261013 1808261007 1808261006 1808261008

60 Feet

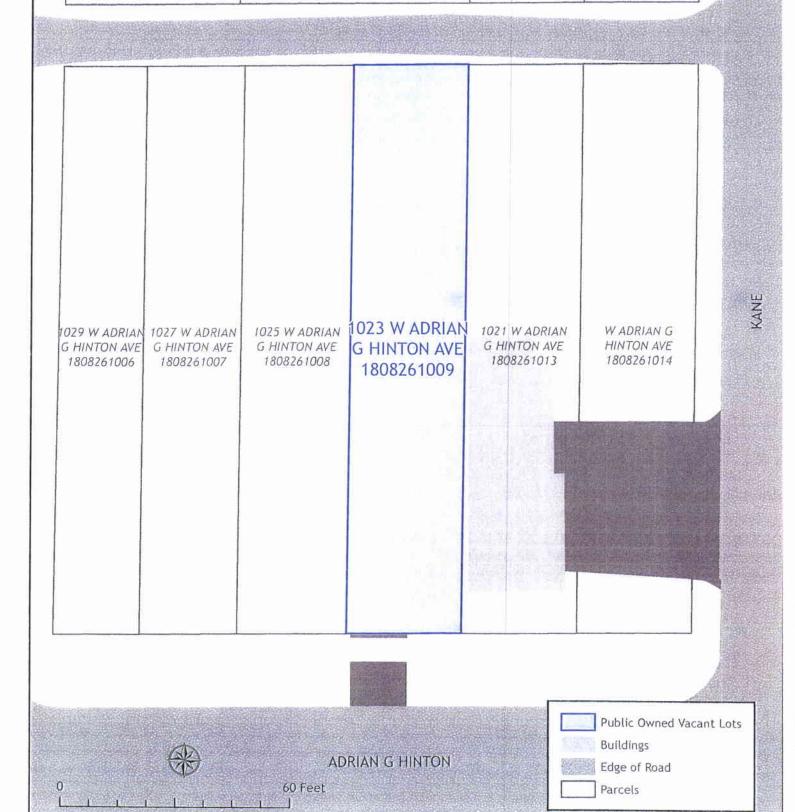
Public Owned Vacant Lots

Buildings Edge of Road

Parcels

1023 W Adrian G Hinton Ave Public Owned Vacant Lots

126 N CHARLTON ST 1808261002



1009 W Third Ave Public Owned Vacant Lots

311 N SARATOGA ST 1808263019

306 N KANE ST 1808263006

> 309 N SARATOGA ST 1808263016

1013 W THIRD AVE 1808263020 1009 W THIRD AVE 1808263010

305 N SARATOGA ST 1808263017

1001 W THIRD AVE 1808263018

THIRD

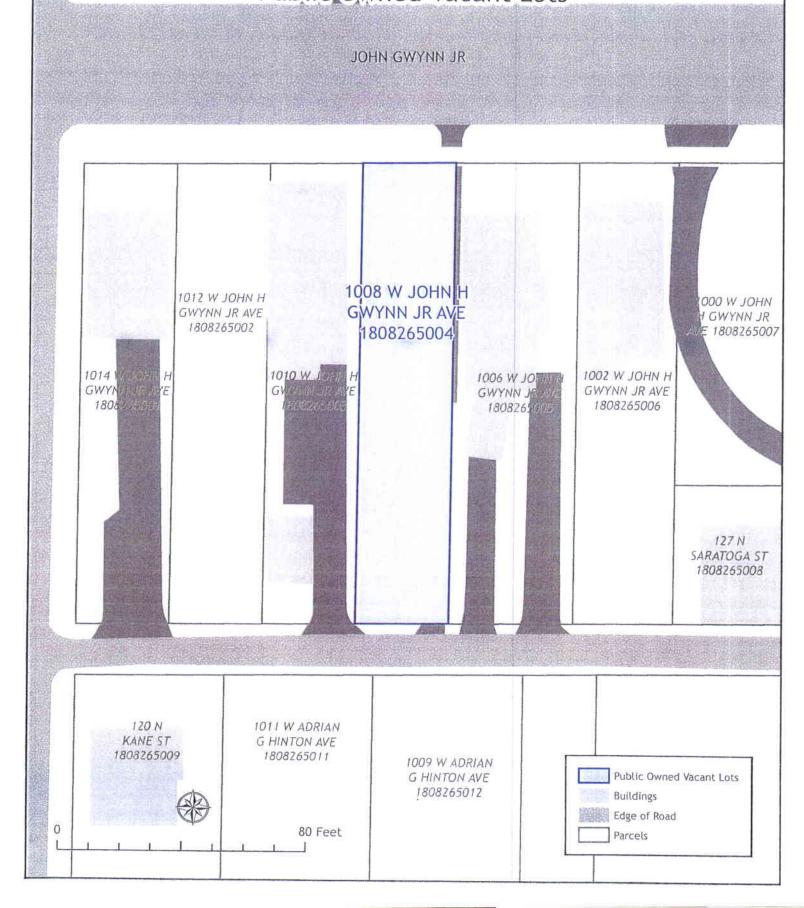




Parcels

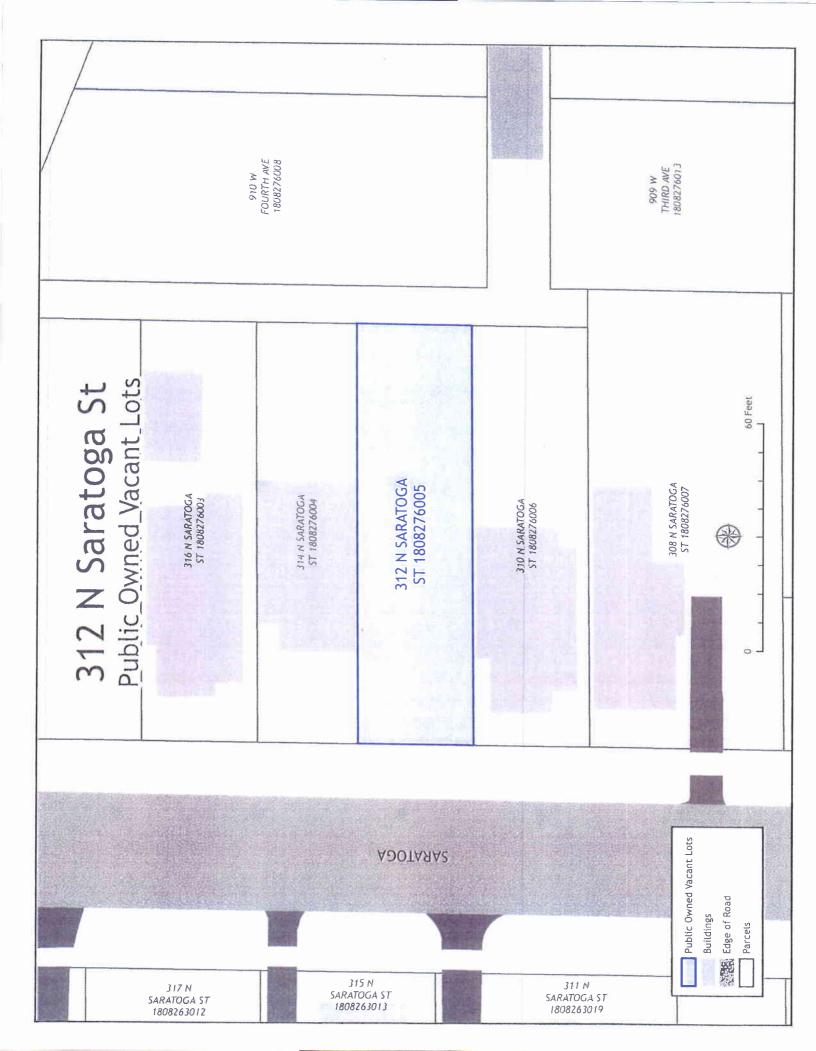
Public Owned Vacant Lots 207 N SARATOGA ST 1808264015 205 N SARATOGA ST 1808264019 Edge of Road Buildings Parcels 1009 W JOHN H GWYNN JR AVE 1808264011 206 N Kane St Public Owned Vacant Lots 40 Feet 1011 W JOHN H GWYNN JR AVE 1808264010 N KANE ST 1808264007 1808264005 208 N KANE ST 1808264006 1013 W JOHN H GWYNN JR AVE 1808264009 1015 W JOHN H GWYNN JR AVE 1808264008 KANE

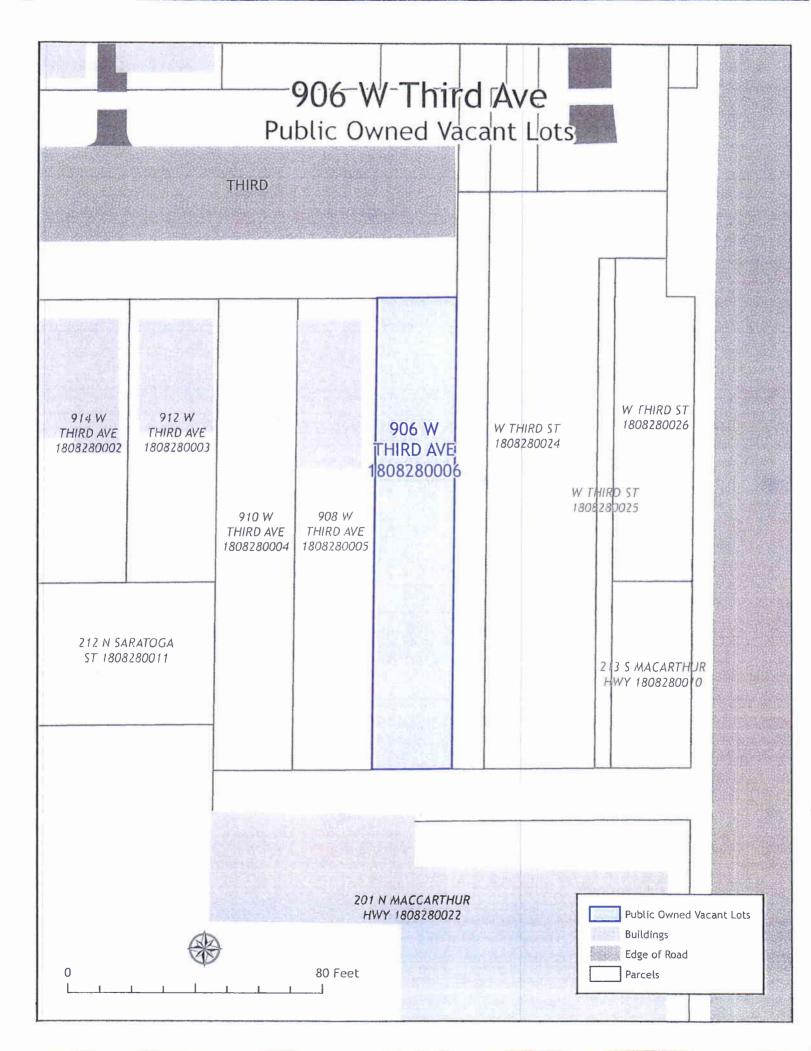
1008-W-John-H-Gwynn-Jr-Ave-Public Owned Vacant Lots



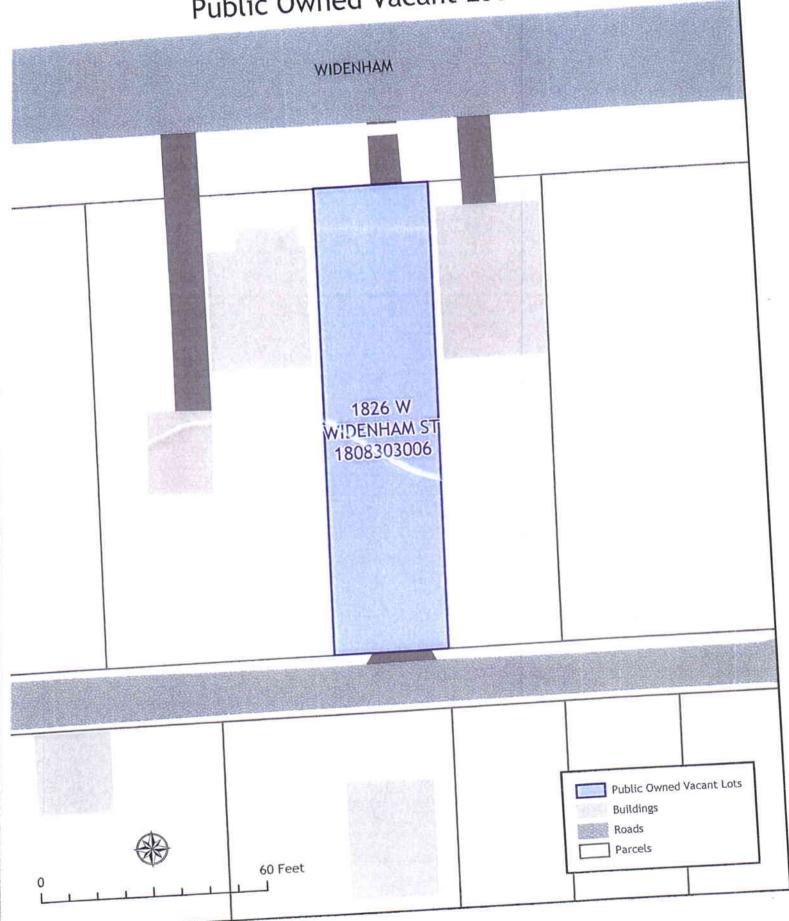
1005 W Aiken Ave Public Owned Vacant Lots 1004 W ADRIAN 1000 W ADRIAN G HINTON AVE G HINTON AVE 1808266004 1808266005 101 N 1005 W SARATOGA ST AIKEN AVE 1808266007 1808266006 AIKEN Public Owned Vacant Lots Buildings Edge of Road 60 Feet Parcels

910 W FOURTH AVE 1808276008 318 N Saratoga St Public Owned Vacant Lots 318 N SARATOGA ST 1808276002 316 N-SARATOGA ST 1808276003 314 N SARATOGA ST 1808276004 320 N SARATOGA ST 1808276001 Public Owned Vacant Lots ADOTARAS Edge of Road Buildings Parcels



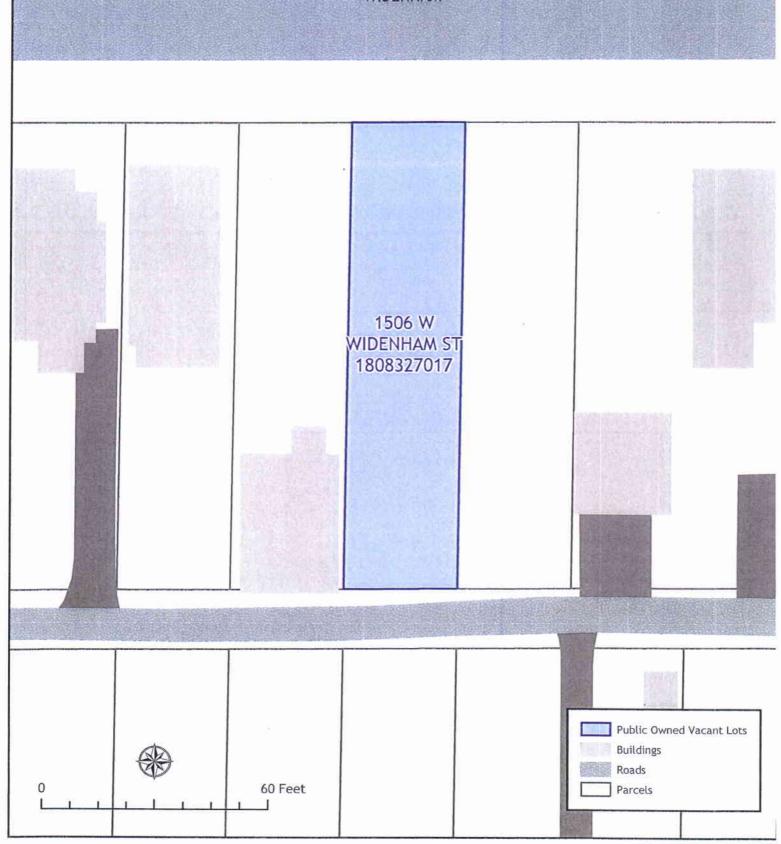


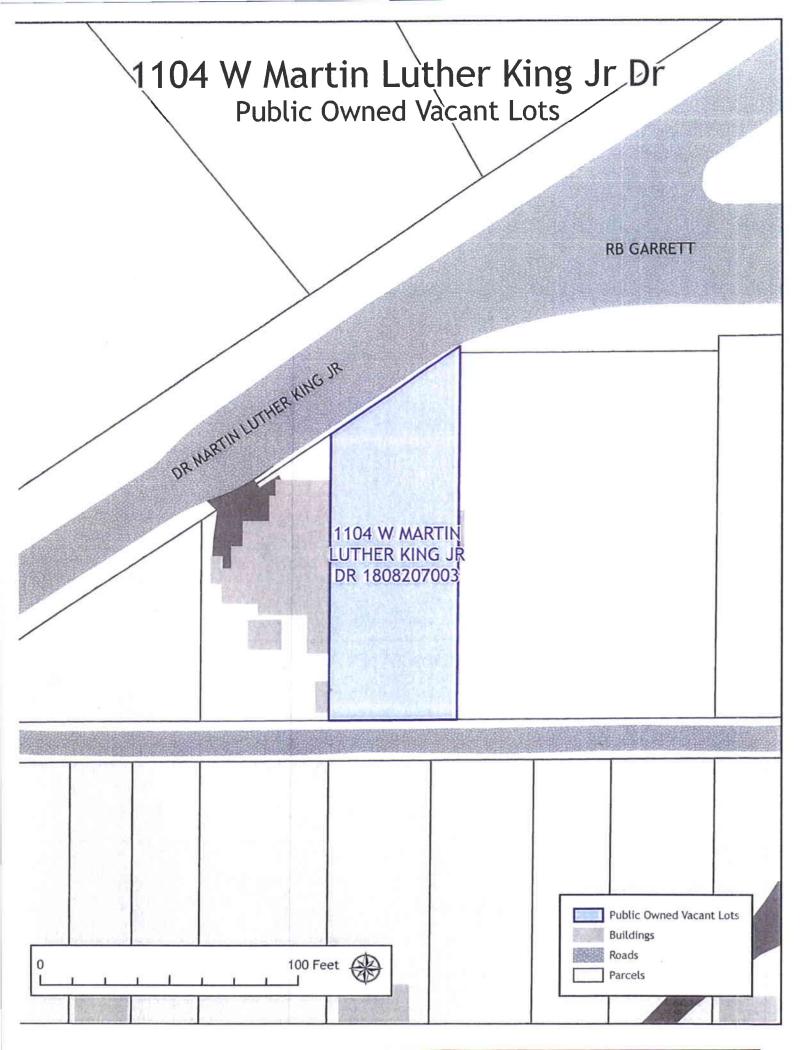
1826 W Widenham St Public Owned Vacant Lots

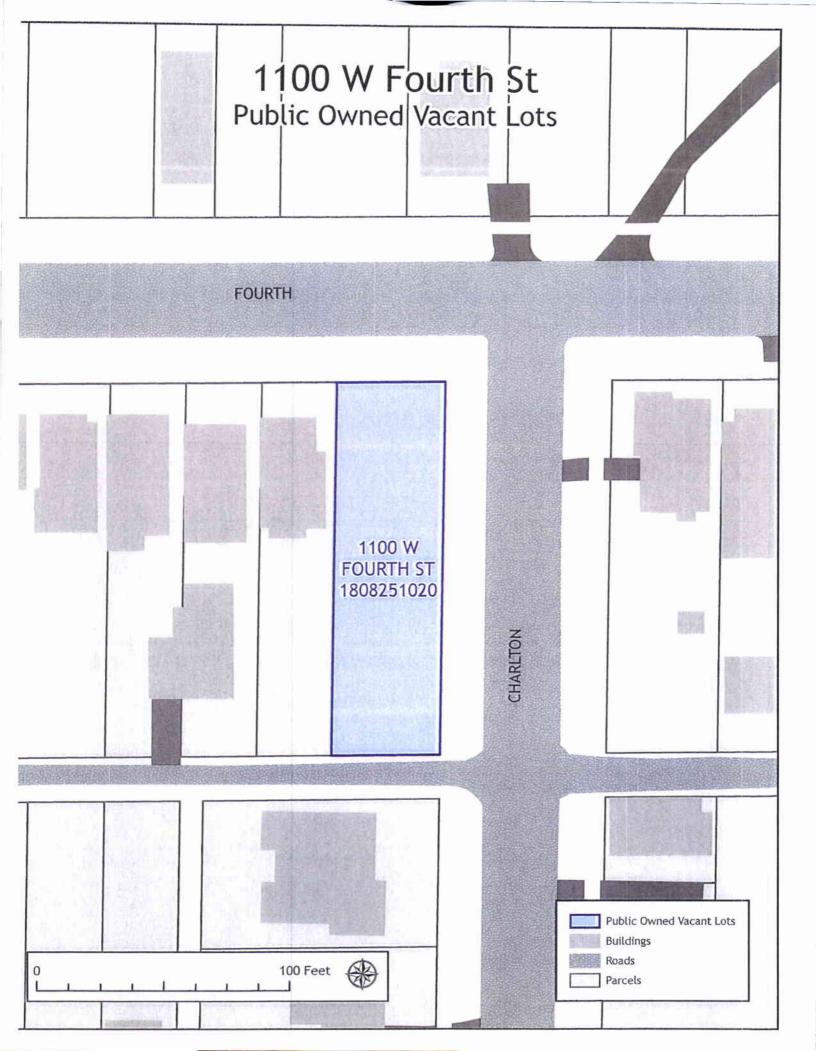


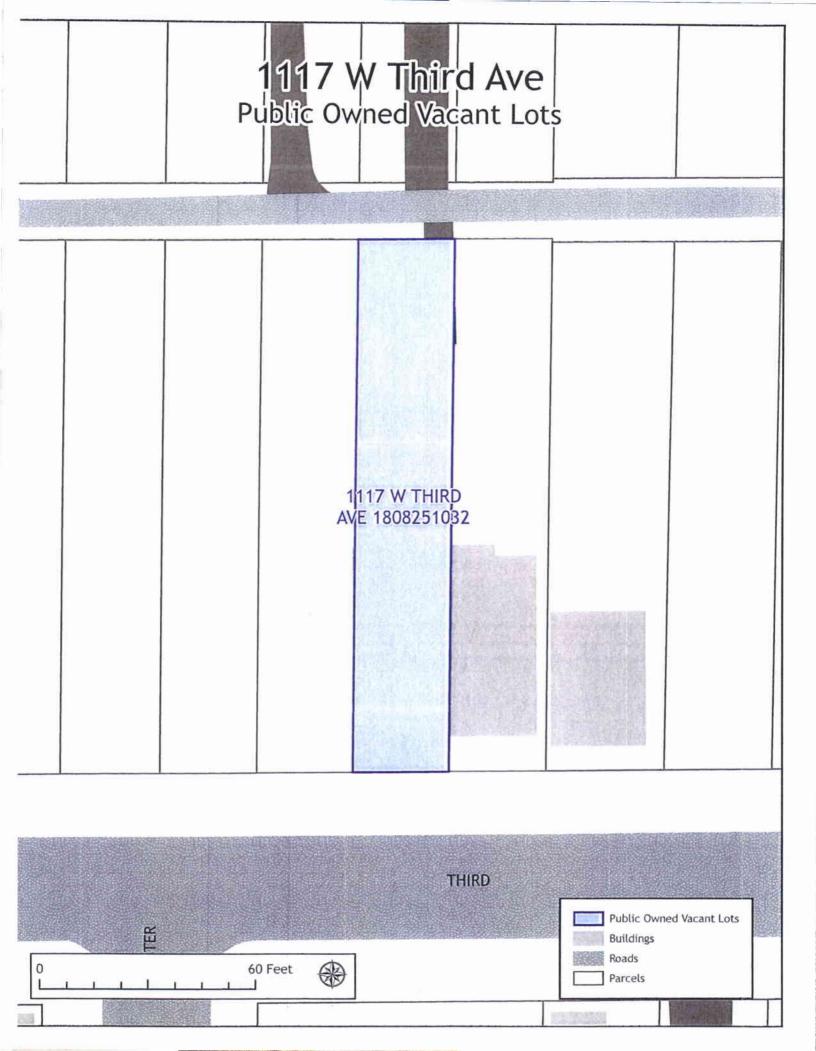
1506 W Widenham St Public Owned Vacant Lots



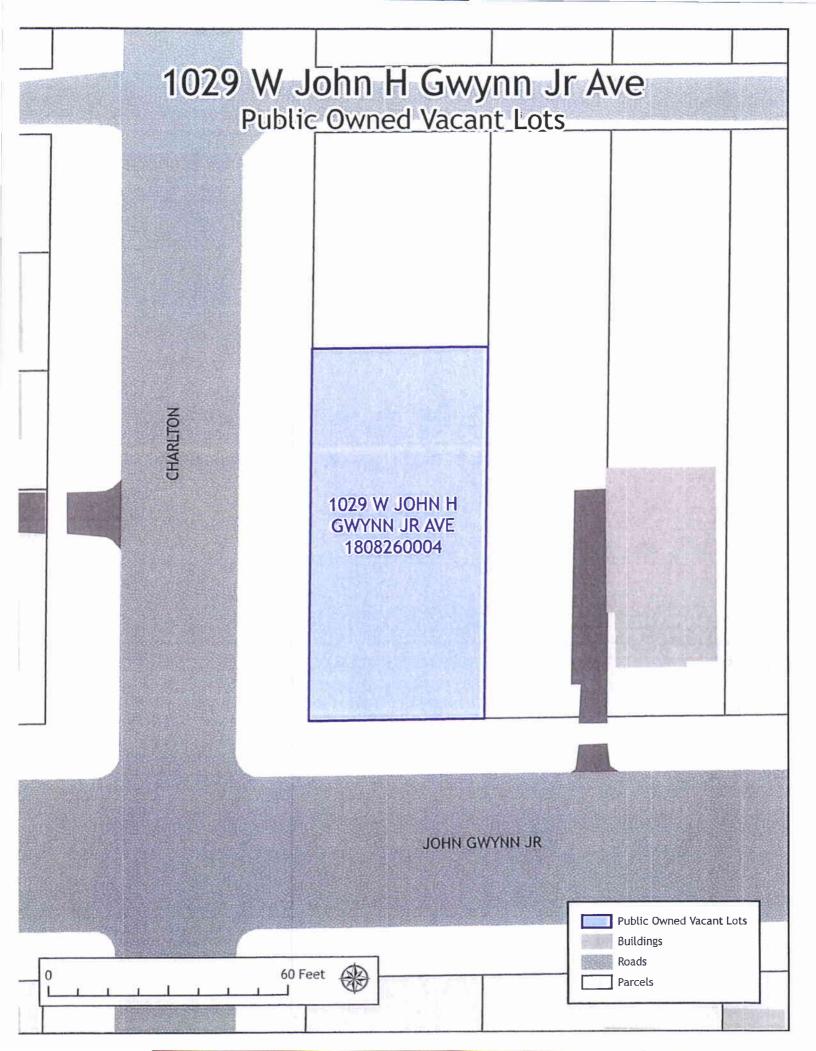


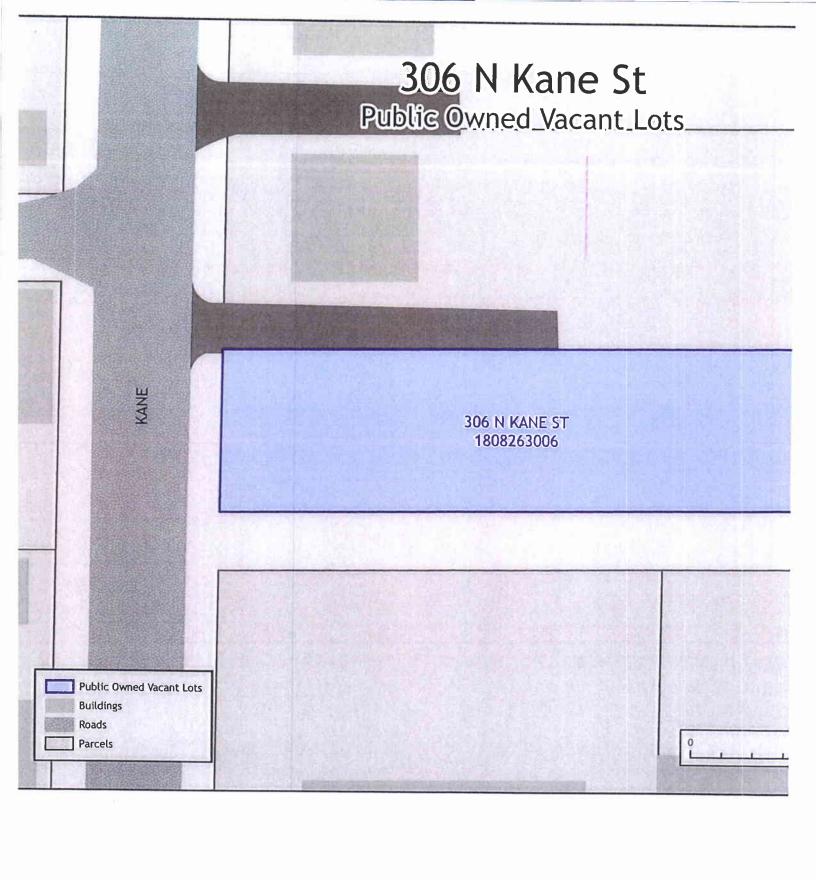








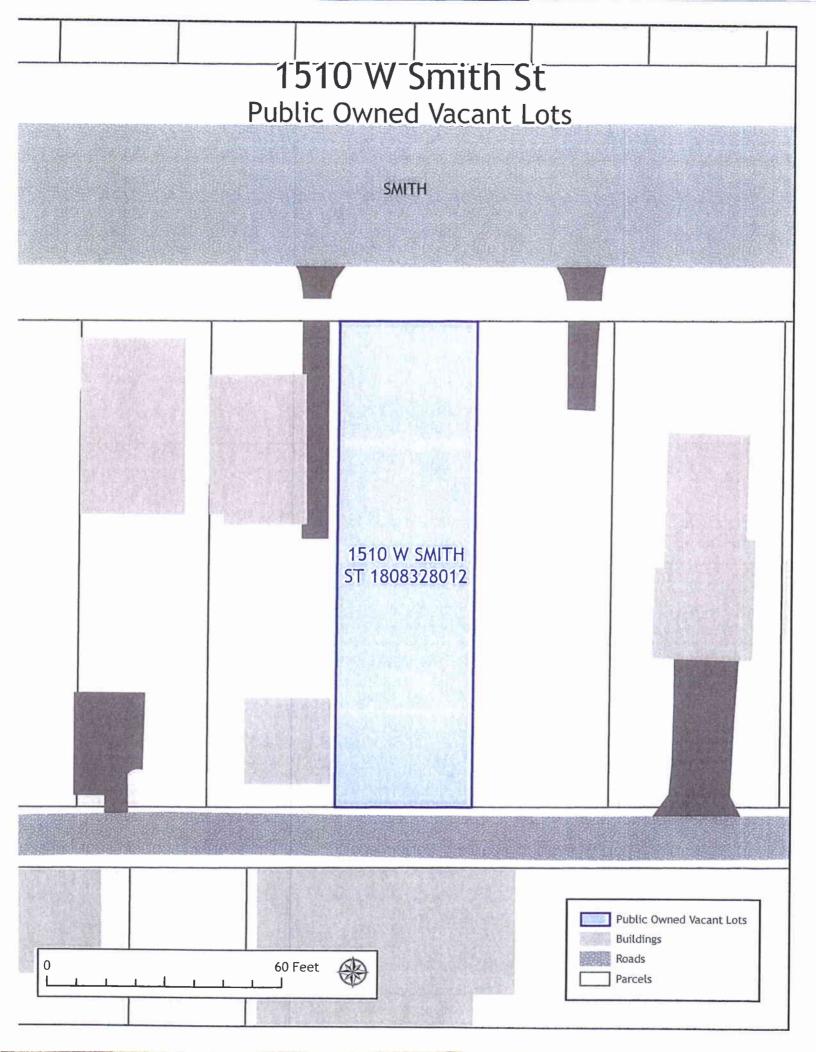


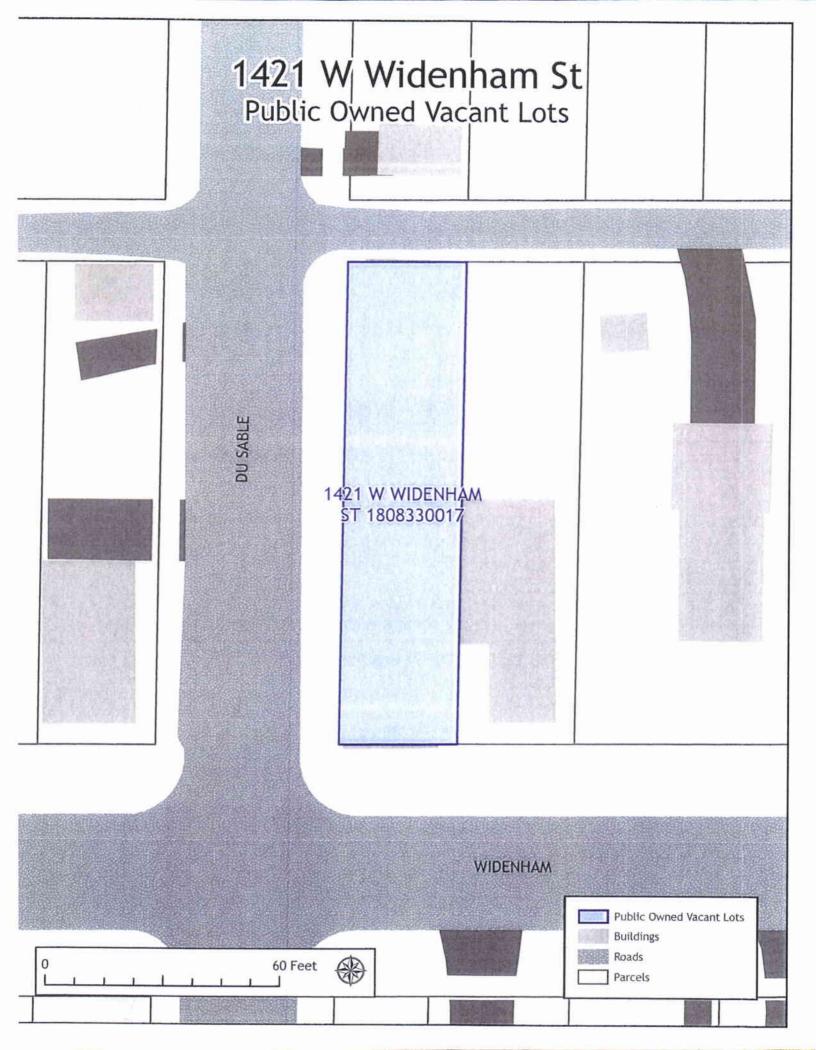


1512 W Aiken Ave Public Owned Vacant Lots **AIKEN** 1512 W AIKEN AVE 1808326040 Public Owned Vacant Lots Buildings Roads 60 Feet Parcels

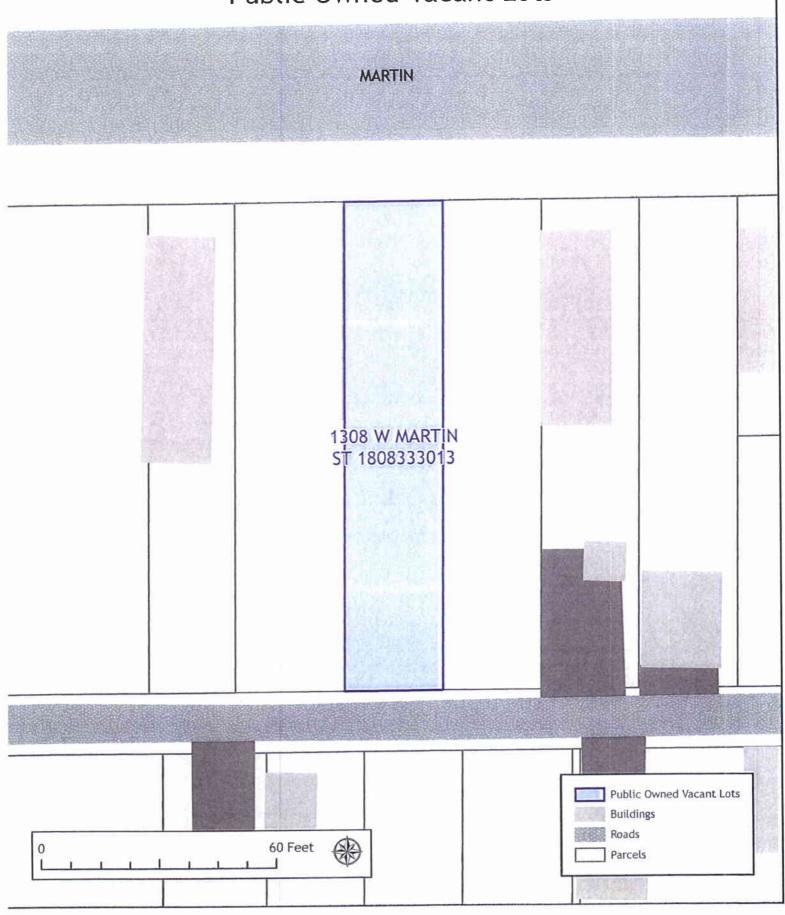
1513 W Smith St Public Owned Vacant Lots 1513 W SMITH ST 1808327035 SMITH Public Owned Vacant Lots Buildings Roads 60 Feet Parcels

1507 W Smith St Public Owned Vacant Lots 1507 W **SMITH ST** 1808327038 **SMITH** Public Owned Vacant Lots Buildings Roads 60 Feet **Parcels**

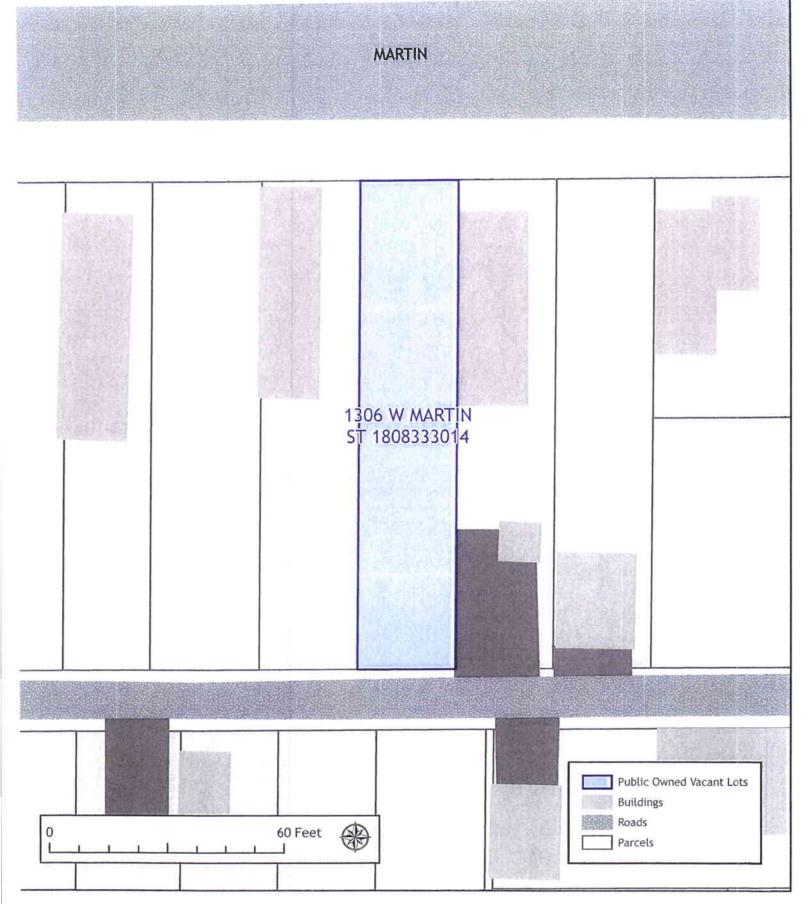


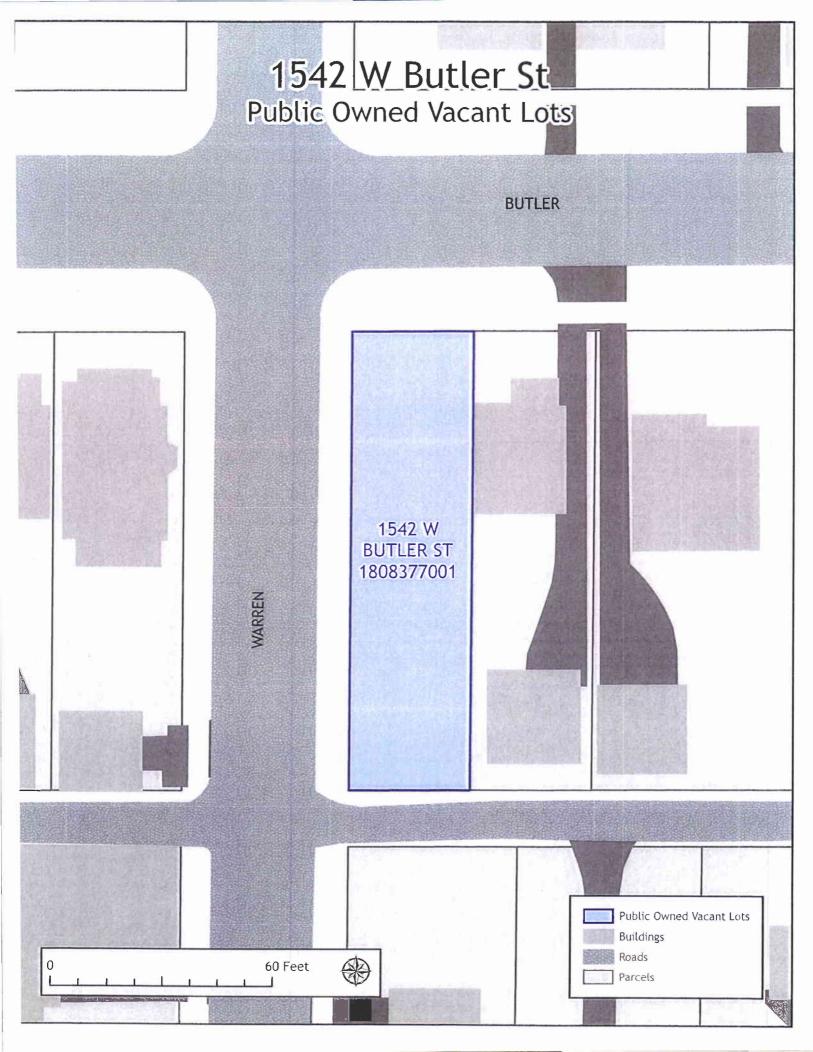


—1-308-W-Martin-St Public Owned Vacant Lots



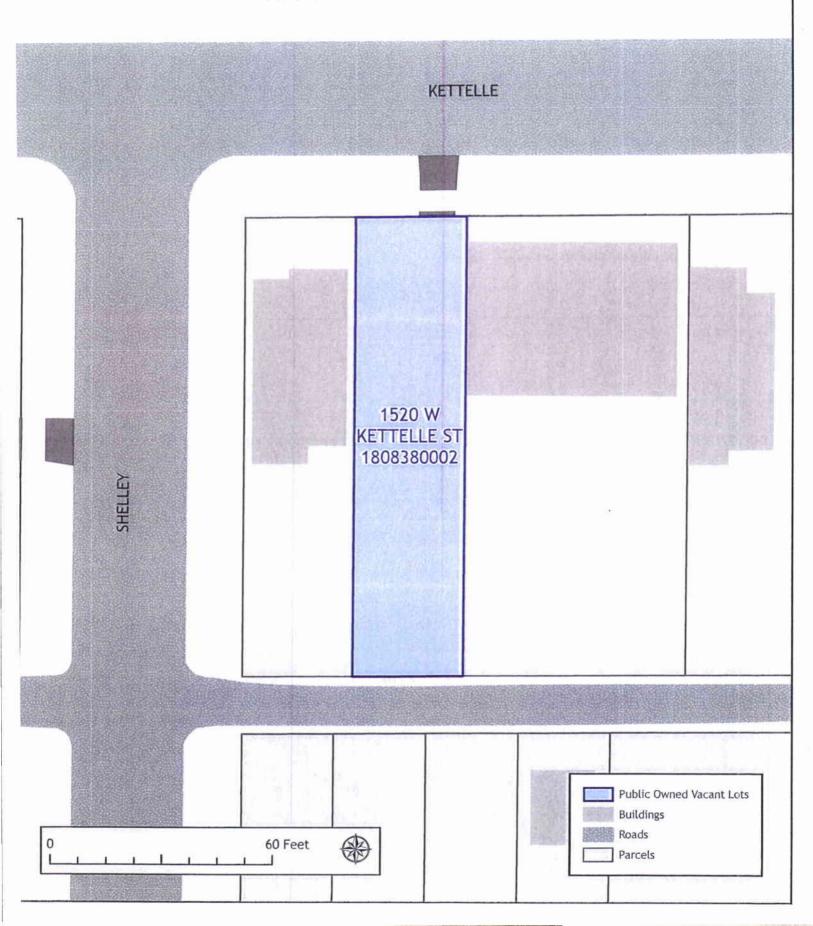
1306 W Martin St Public Owned Vacant Lots



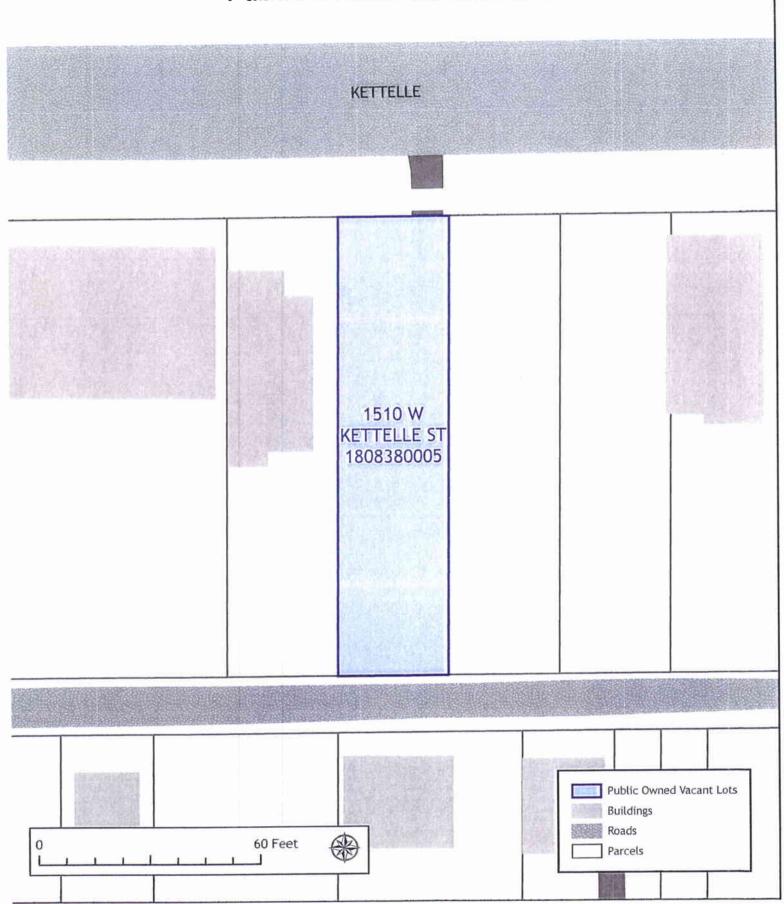


1520 W Kettelle St

Public Owned Vacant Lots

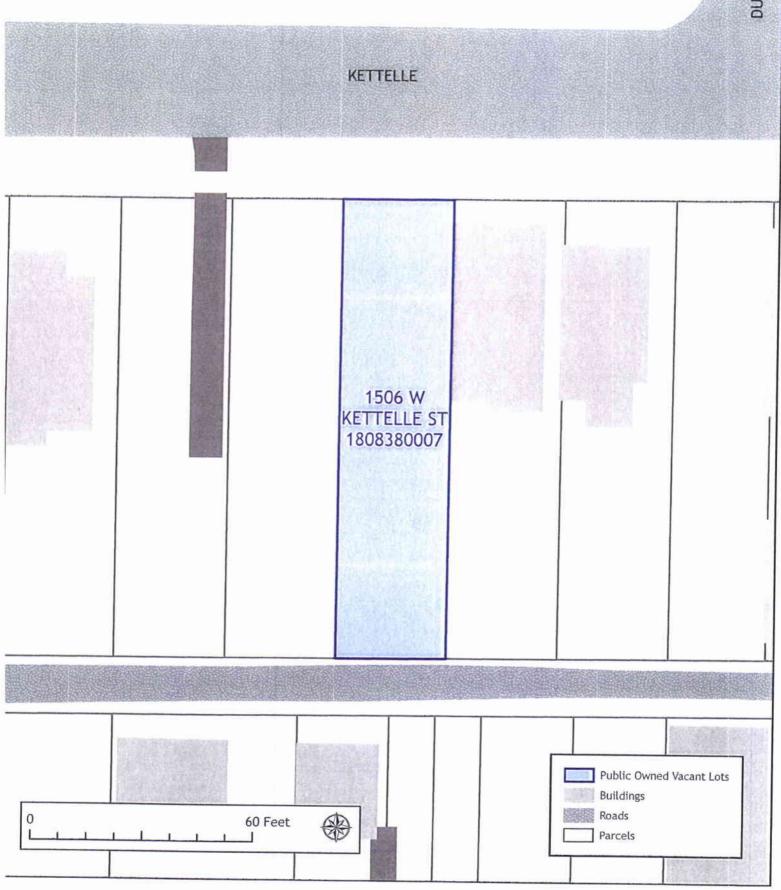


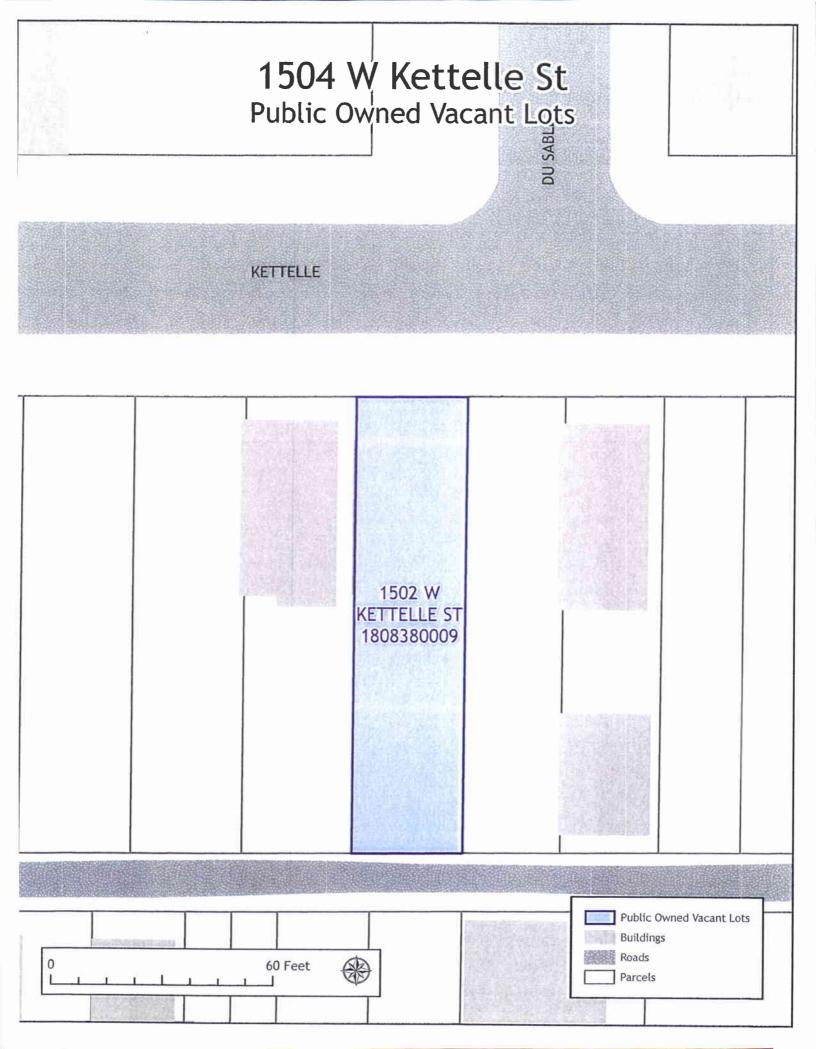
1510 W Kettelle St Public Owned Vacant Lots



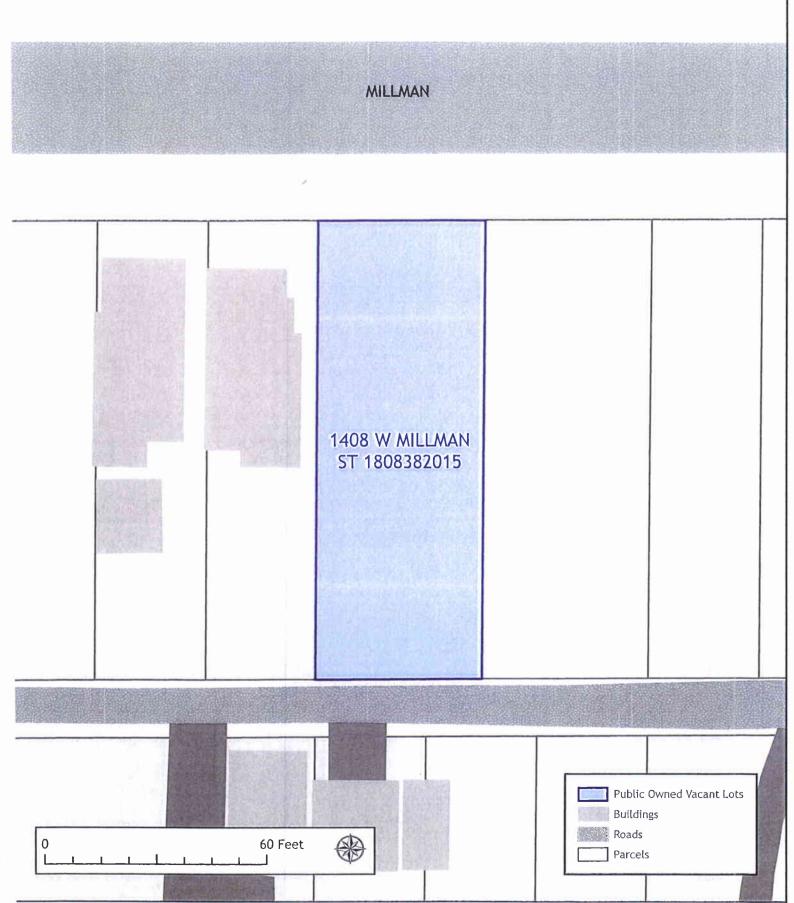
1506 W Kettelle St Public Owned Vacant Lots

JU SABLI





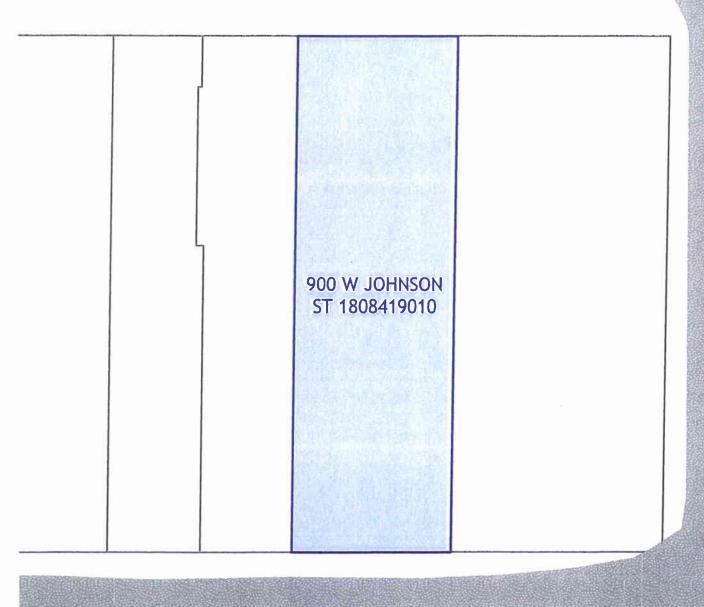
1408 W Millman St Public Owned Vacant Lots



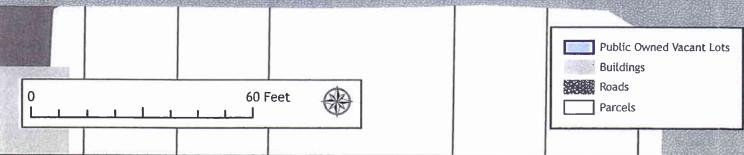
129 S Webster St Public Owned Vacant Lots 207 S CHARLTON ST 1808408014 **Public Owned Vacant Lots JOHNSON** Buildings Roads **Parcels**

900 W Johnson St Public Owned Vacant Lots

JOHNSON



MACARTHUR





903 W MCBEAN ST 1808419021

MACARTHUR

MC BEAN

0 60 Feet

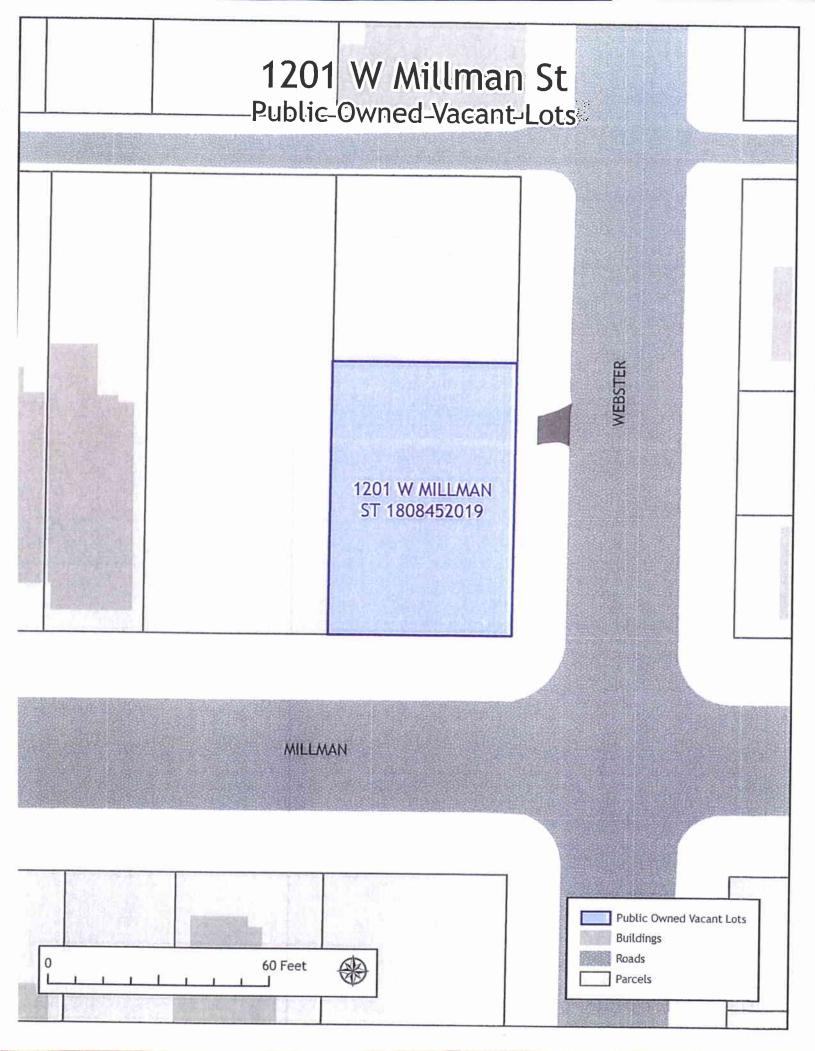


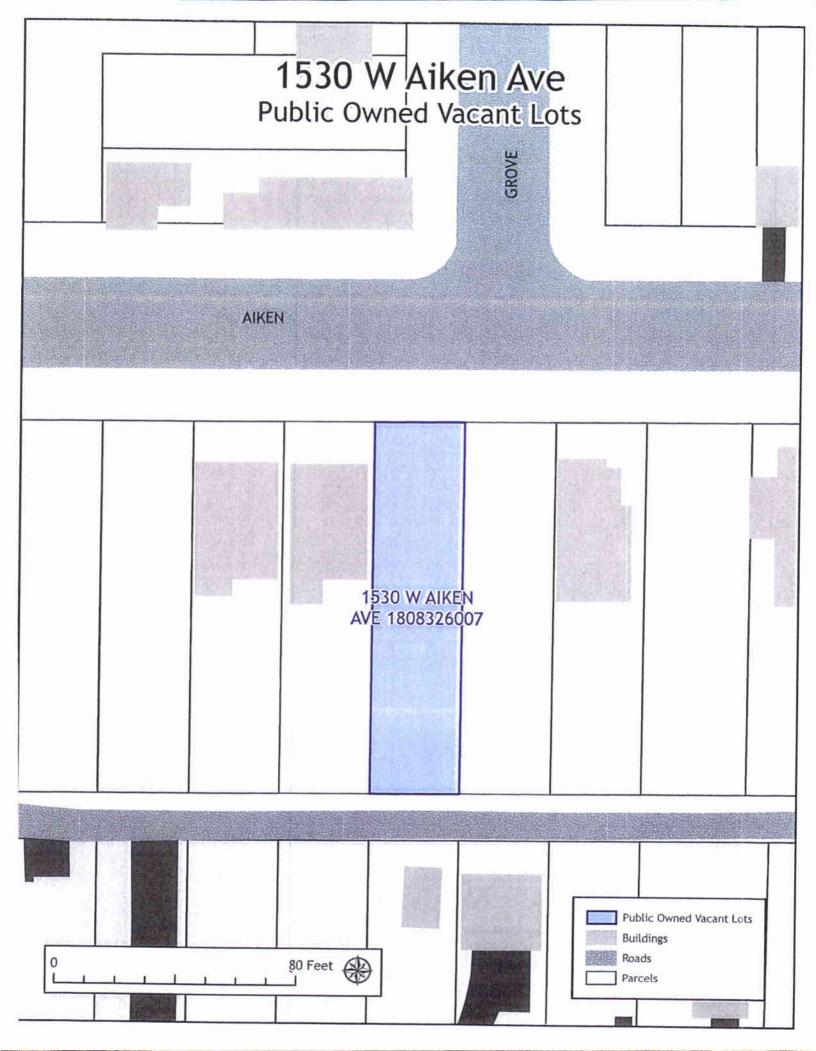
Public Owned Vacant Lots
Buildings

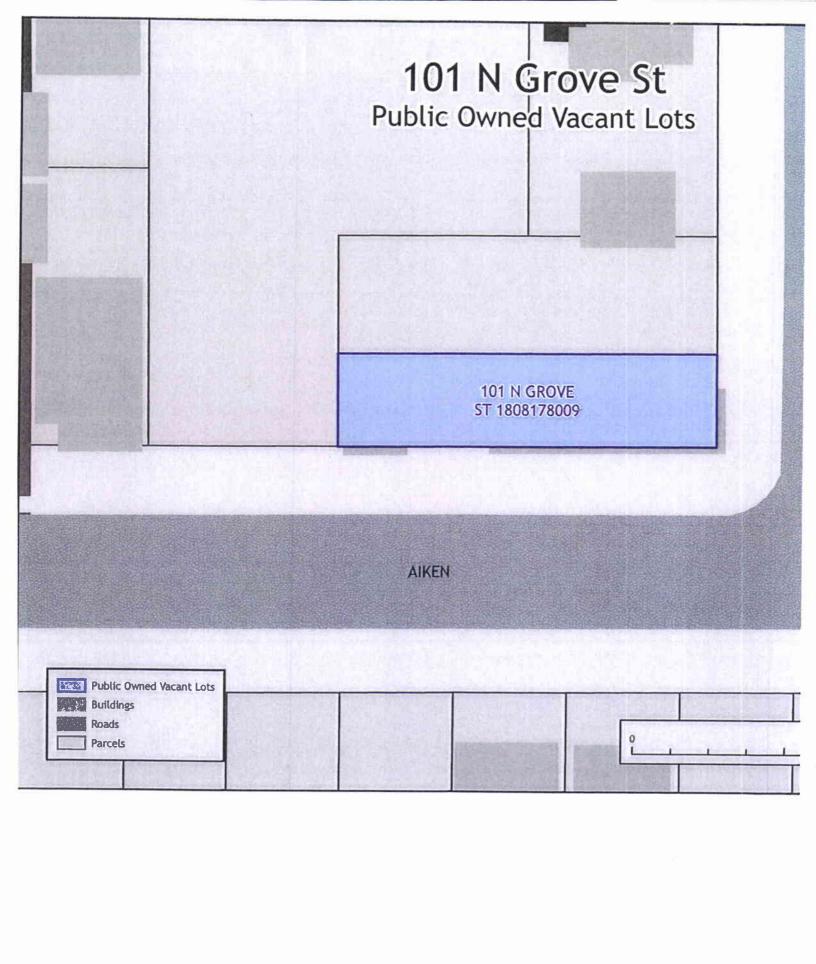
Roads

Parcels

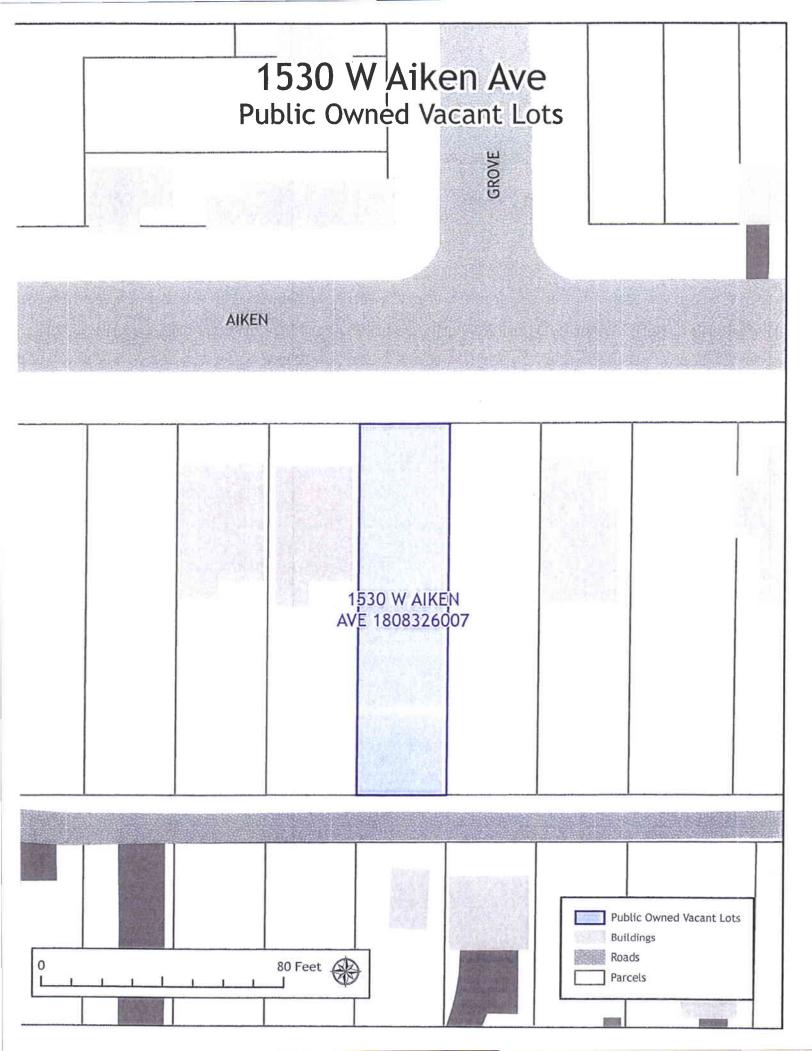
901 W McBean St Public Owned Vacant Lots 901 W MCBEAN ST 1808419022 MC BEAN Public Owned Vacant Lots Buildings Roads 60 Feet Parcels







101 N Grove St Public Owned Vacant Lots 101 N GROVE ST 1808178009 AIKEN Public Owned Vacant Lots Buildings Roads **Parcels**



—1-203-W-Butler-St— Public Owned Vacant Lots

BROTHERSON

1203 W BUTLER ST 1808451010

WEBSTER

BUTLER

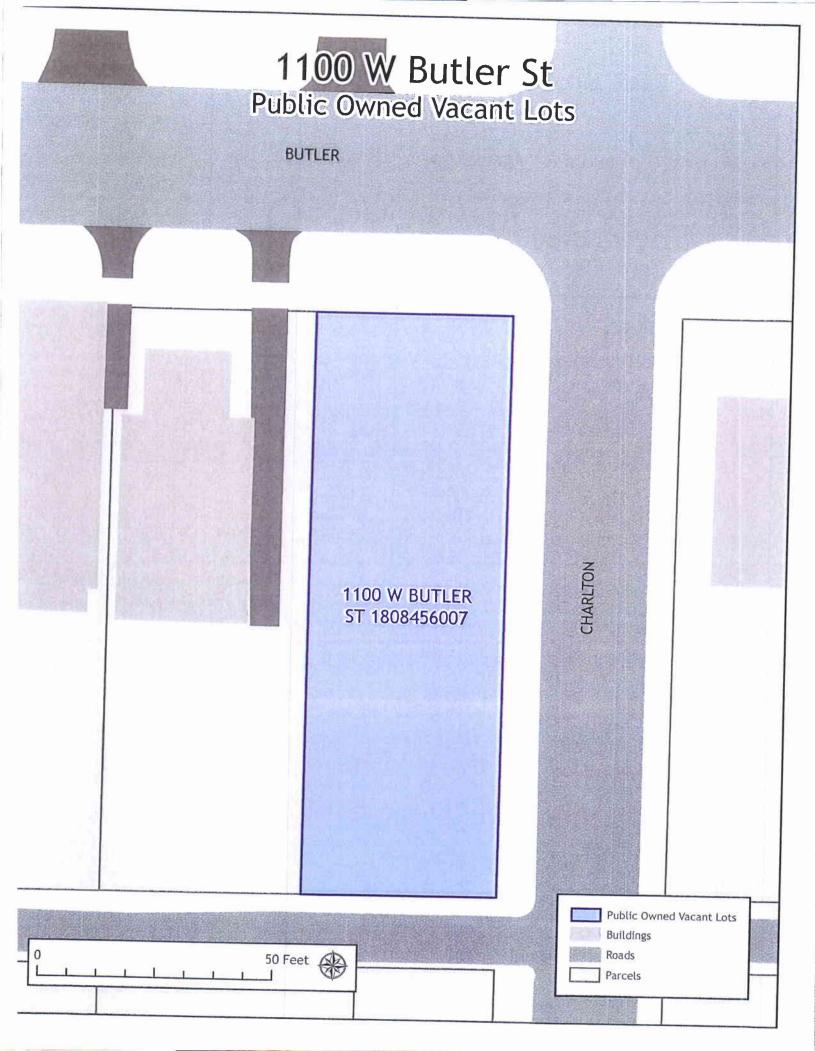
50 Feet



Public Owned Vacant Lots

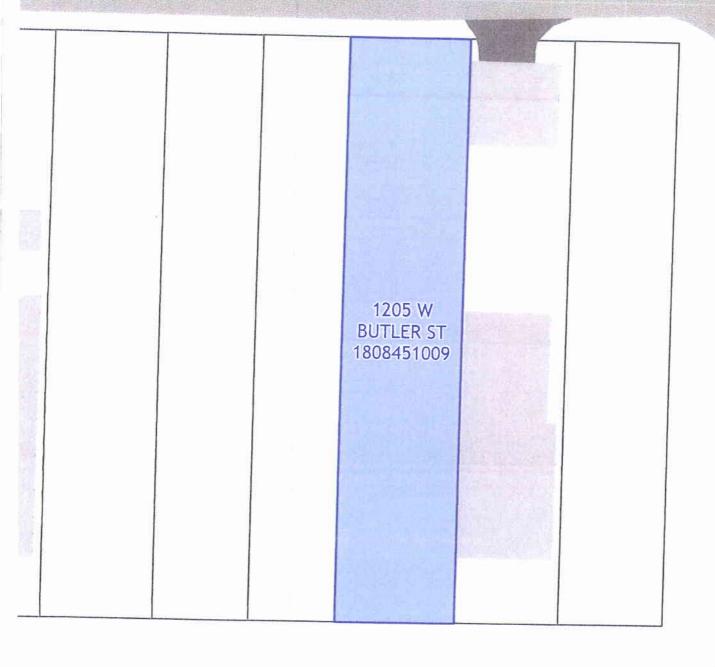


Parcels



1205 W-Butler-St-Public Owned Vacant Lots

BROTHERSON

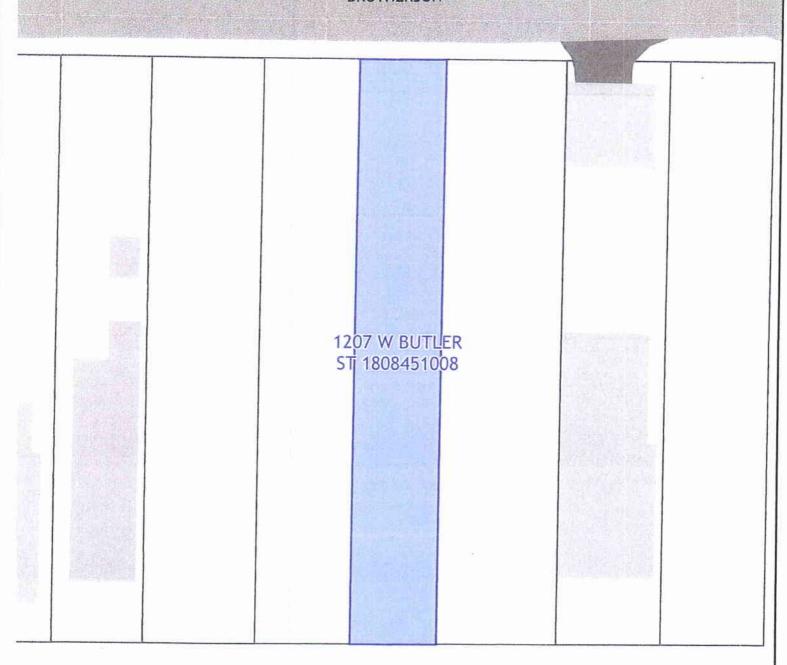


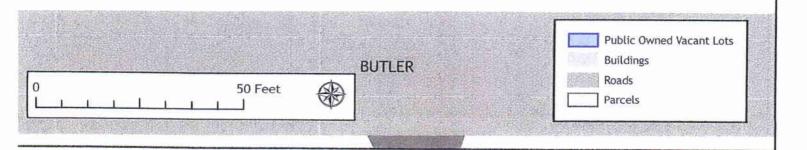
BUTLER

Public Owned Vacant Lots
Buildings
Roads
Parcels

1207 W Butler St Public Owned Vacant Lots

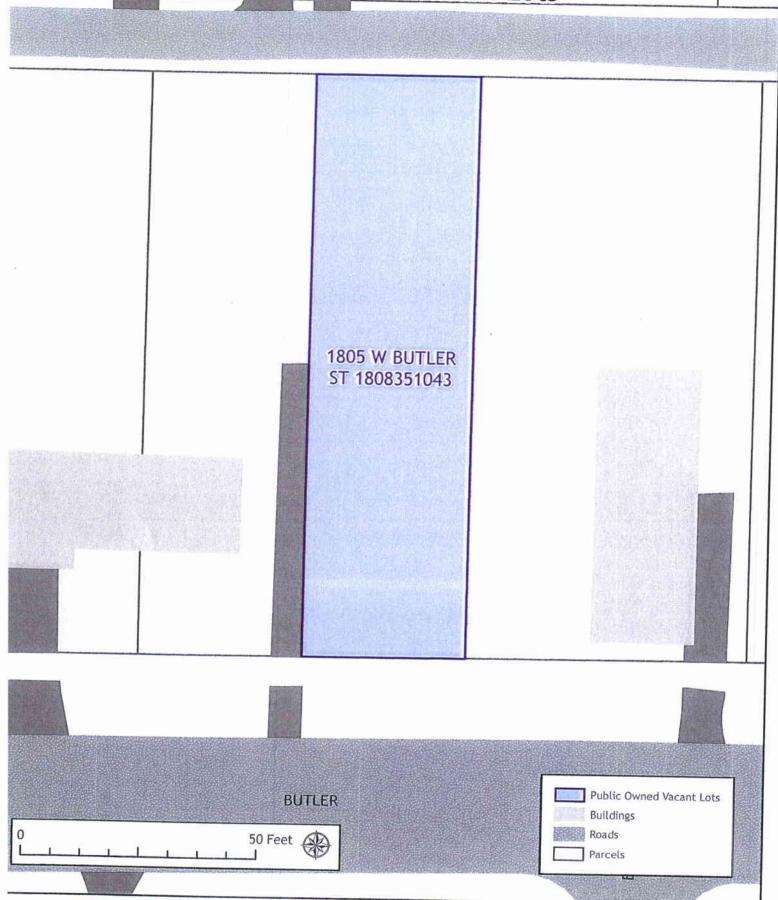
BROTHERSON





1539 W Butler St Public_Owned_Vacant_Lots 1539 W BUTLER ST 1808376010 Public Owned Vacant Lots **BUTLER** Buildings Roads 50 Feet Parcels

1805 W Butler St Public Owned Vacant Lots



1307 W Butler St Public Owned Vacant Lots

1307 W BUTLER ST 1808384015

BUTLER

50 Feet



Public Owned Vacant Lots Buildings

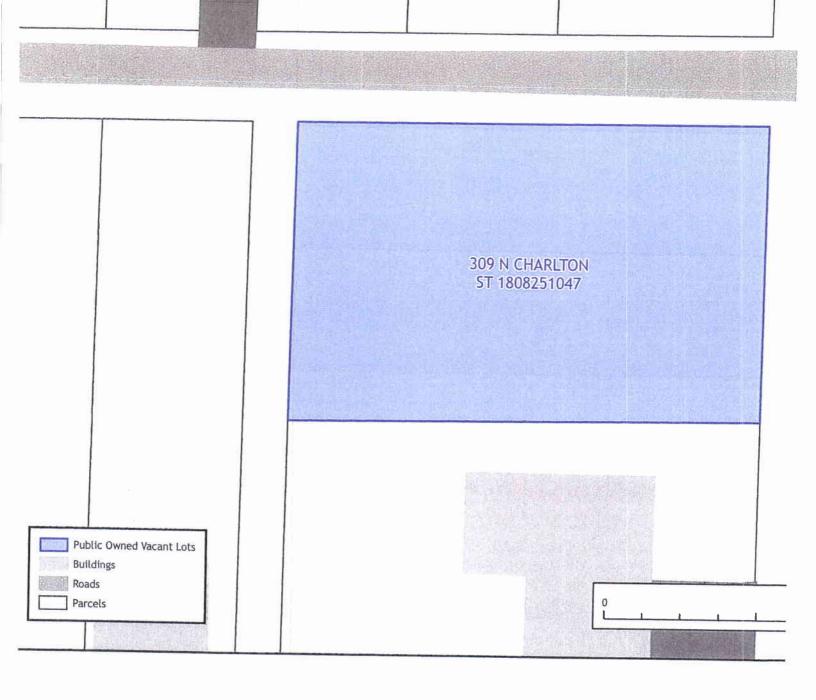


Parcels

1710 W Butler St Public Owned Vacant Lots BUTLER 1710 W BUTLER ST 1808355004 Public Owned Vacant Lots Buildings Roads 50 Feet Parcels

1214 W Adrian G Hinton Ave Public Owned Vacant Lots ADRIAN G HINTON 1214 W ADRIAN G HINTON AVE 1808255003 Public Owned Vacant Lots AIKEN **Buildings** 60 Feet Roads **Parcels**

309 N Charlton St Public Owned Vacant Lots



1116 W Fourth St

Public Owned Vacant Lots

FOURTH

