



PLANNING & ZONING COMMISSION

TO: City of Peoria Planning & Zoning Commission

FROM: Site Plan Review Board

DATE: July 28, 2016

CASE NO: PZ 16-27

REQUEST: Hold a Public Hearing and forward a recommendation to City Council on the request of Kathleen Groark, of Insite RE, Inc., Verizon Wireless, and Parallel Infrastructure, to amend an existing Special Use, Ordinance No. 16,406, as amended, in a Class R-3 (Single-family Residential) District for a Cemetery, to add a Wireless Communication Tower Facility, for the property commonly known as Springdale Cemetery and located at 3014 N Prospect Road (Parcel Identification Nos. 14-34-200-006, 14-34-132-002, 14-27-476-001, 14-35-101-001), Peoria, Illinois (Council District 3).

SUMMARY OF PROPOSAL & REQUESTED WAIVERS

The petitioner is requesting to amend the existing Special Use to place a new 105 foot cell tower and communication facility at Springdale Cemetery, near the entrance off of Prospect Road, on 230.6 acres. The new tower is proposed as a Flag Pole design.

Per the Zoning Ordinance, wireless communication facilities shall locate according to the following priorities with a) being the highest priority:

- a) Existing towers or other structures
- b) Industrial or institutionally zoned or publicly-owned
- c) Commercial, office, central business or parking zoning
- d) Agricultural zoning
- e) Residential zoning

The proposal is further described as follows:

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	SPRB Comment
Tower Location	This request is priority #2 per the Zoning Ordinance, as it is a new tower on publicly owned land.	None	Tower must be a stealth design (flag pole) as proposed.
Tower and Antenna Height	105 foot monopole (110 feet to the top of the lightning rod).	None	None
Setbacks	The proposed location complies with setback requirements.	None	None
Tower Design	The tower will be a stealth design (Flag Pole painted white).	None	Tower must be a flag pole designed as proposed.
Lighting	As required by FAA for the tower.	None	None
Signs	No signs are proposed per submitted plans.	None	Two signs not to exceed 4 sq. ft. must be placed on the site per Zoning Ordinance requirements for wireless communication facilities.

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	SPRB Comment
Accessory building/structure design	<p>The ground equipment will consist of three cabinets on a raised steel platform covered by a steel protective canopy. Next to the steel platform An emergency generator will be installed on a concrete pad next to the steel platform.</p> <p>The equipment area will be fenced with an 8 foot tall vinyl fence.</p>	<p>A waiver to allow the proposed equipment shelter to be comprised of material other than that required by the Zoning Ordinance.</p> <p>A waiver to allow the proposed fence to not include aluminum.</p>	<p>Equipment facilities and accessory buildings shall be designed with brick, stone, and/or decorative block materials and reflect the design of buildings within the surrounding area. Fence enclosures shall include wrought iron.</p> <p>Site Plan Review Board does not object to the waiver, due to the limited visibility of the location.</p> <p>The Historic Preservation Commission (HPC) approved a 110-foot tall stealth flagpole wireless communication tower. Per the HPC approval, the flagpole must be white in color with a vinyl fence surrounding the tower base and equipment area. Color of fencing to be approved administratively.</p>
Landscaping	No additional landscaping is proposed.	A waiver was requested from the landscape requirements, due to the existing vegetative barrier.	SPRB does not object to the waiver request due to the naturally occurring vegetation in the area surrounding the equipment shelter.
Building codes and safety standards	Will comply as required.	None	The proposed Wireless Telecommunications Facility shall meet all codes, as required by the Zoning Ordinance.
New Tower Feasibility	<p>Tower is proposed to be designed to accommodate one collocator.</p> <p>In a traditional monopole design all of each carrier's antennas can be at the same height, however with a stealth flagpole carriers will stack their antennas at multiple heights.</p>	Waiver from the requirement to provide space for 4 collocations. This is allowed with required documentation.	Applicant must examine the feasibility of designing the proposed tower to accommodate future demand for at least four (4) additional commercial applications, with Antenna Arrays equal to those of the applicant, and located as close to the applicant's antenna as possible without causing interference. This requirement may be waived, provided that the applicant, in writing, demonstrates that the provisions of future shared usage of the tower is not technologically feasible, is Commercially Impracticable or creates an unnecessary and unreasonable burden.

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	SPRB Comment
Visual Intrusion	Petitioner has agreed to install the tower as a flag pole design.	None	None
Access & Circulation	The equipment shelter is proposed to be accessed through the Cemetery entry drive.	None	None
Required permits and licenses	Permits will be obtained as required.	N/A	A holder of a Special Use Permit granted under this Ordinance shall obtain, at its own expense, all permits and licenses required by applicable Law, rule, regulation or code, and must maintain the same, in full force and effect, for as long as required by the City or other governmental entity or agency having jurisdiction over the applicant.
Future Modifications	N/A	N/A	The holder of a Special Use Permit shall notify the Zoning Administrator of any intended modification of a Wireless Telecommunication Facility and shall apply to the Zoning Administrator to modify, relocate or rebuild a Wireless Telecommunications Facility. Such modification shall be processed as an amendment to the Telecommunications Special Use according to the requirements of Section 2.15 Special Uses of this Ordinance.
Parking	No changes are proposed.	None	None
Mechanical & Utility Screening	Not addressed	N/A	Per a previous approval, the service courtyard area where mechanical equipment, utilities, and a dumpster are located, was required to be screened from view from public streets, open areas, and pedestrian corridors. Site Plan Review Board requests that this area be screened per Land Development Code requirements.

BACKGROUND

Property Characteristics

The subject property contains 230.6 acres of land, developed with Springdale Cemetery. The property is zoned Class R-3 (Single-family Residential) District.

History

In 2009, a Special Use was granted for a cemetery and it was amended in 2010 for a building addition.

The property has historically been zoned as follows:

Date	Zoning
1931-1958	A (One Family) Dwelling
1958-1963	A (One Family) Dwelling
1963 - 1990	R-1 (Low Density Residential) District
1990 - Present	R-3 (Single-family Residential) District

SITE PLAN REVIEW BOARD ANALYSIS

The SPRB examines each application against the appropriate standards found in the Code of the City of Peoria and/or in case law, which results in the following requested conditions:

Standard	Standard Met per SPRB Review	SPRB Condition Request & Justification
No detriment to public health, safety, or general welfare	Yes	N/A
No injury to other property or diminish property values	Yes	N/A
No impediment to orderly development	Yes	N/A
Provides adequate facilities	Yes	N/A
Ingress/Egress measures designed to minimize traffic congestion	Yes	N/A
Adherence to the comprehensive plan	Yes	N/A
If a public use/service, then a public benefit	Yes	N/A
Conforms to all district regulations	Yes, apart from requested waivers.	N/A
Comprehensive Plan Critical Success Factors	Grow employers and jobs.	N/A
City Council Strategic Plan Goals	Grow Peoria business, jobs, and population.	N/A

SITE PLAN REVIEW BOARD RECOMMENDATION

The Site Plan Review Board recommends APPROVAL of the request, with the following conditions:

1. A waiver to allow the proposed equipment shelter to be comprised of material other than that required by the Zoning Ordinance.
2. A waiver to allow the proposed 8 foot tall fence to be vinyl.
3. A waiver to allow space for only one collocator.
4. A waiver from the landscape requirements, due to the existing vegetative barrier.
5. Tower must be a stealth design (flag pole) as proposed.
6. Lighting must comply with the requirements of Appendix C, Section 6.6.9.A.No tower or antenna shall be artificially illuminated unless required by the FAA. Lighting shall not exceed 1/2 footcandle as measured at the property line and shall be down lit away from residential properties and public streets.

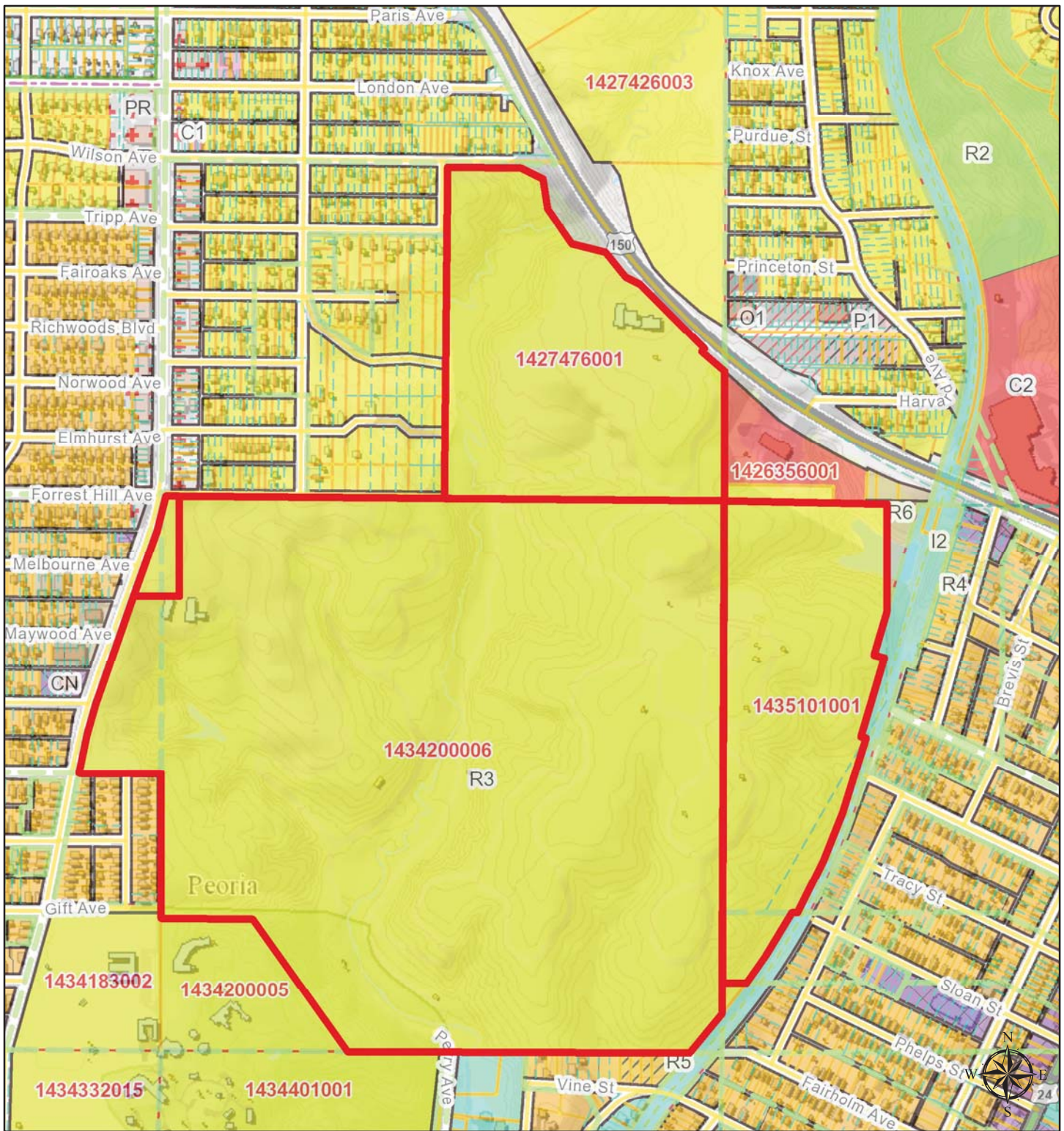
7. Two signs not to exceed 4 sq. ft. must be placed on the site per Zoning Ordinance requirements for wireless communication facilities.
8. Any gravel placed on the site in association with the equipment area must be contained within the fenced area and not visible on the site.

NOTE: If a City Code Requirement is not listed as a waiver, then it is a required component of the development. The applicant is responsible for meeting all applicable code requirements through all phases of the development.

ATTACHMENTS

1. Surrounding Zoning (County GIS Print in Color)
2. Aerial Photo (County GIS Print in Color - 2008 Photo until updated)
3. Site Plan
4. Elevations and/or Renderings
5. Photos
6. Statements from Petitioner

3014 N Prospect Road Surrounding Zoning



1 inch = 667 feet

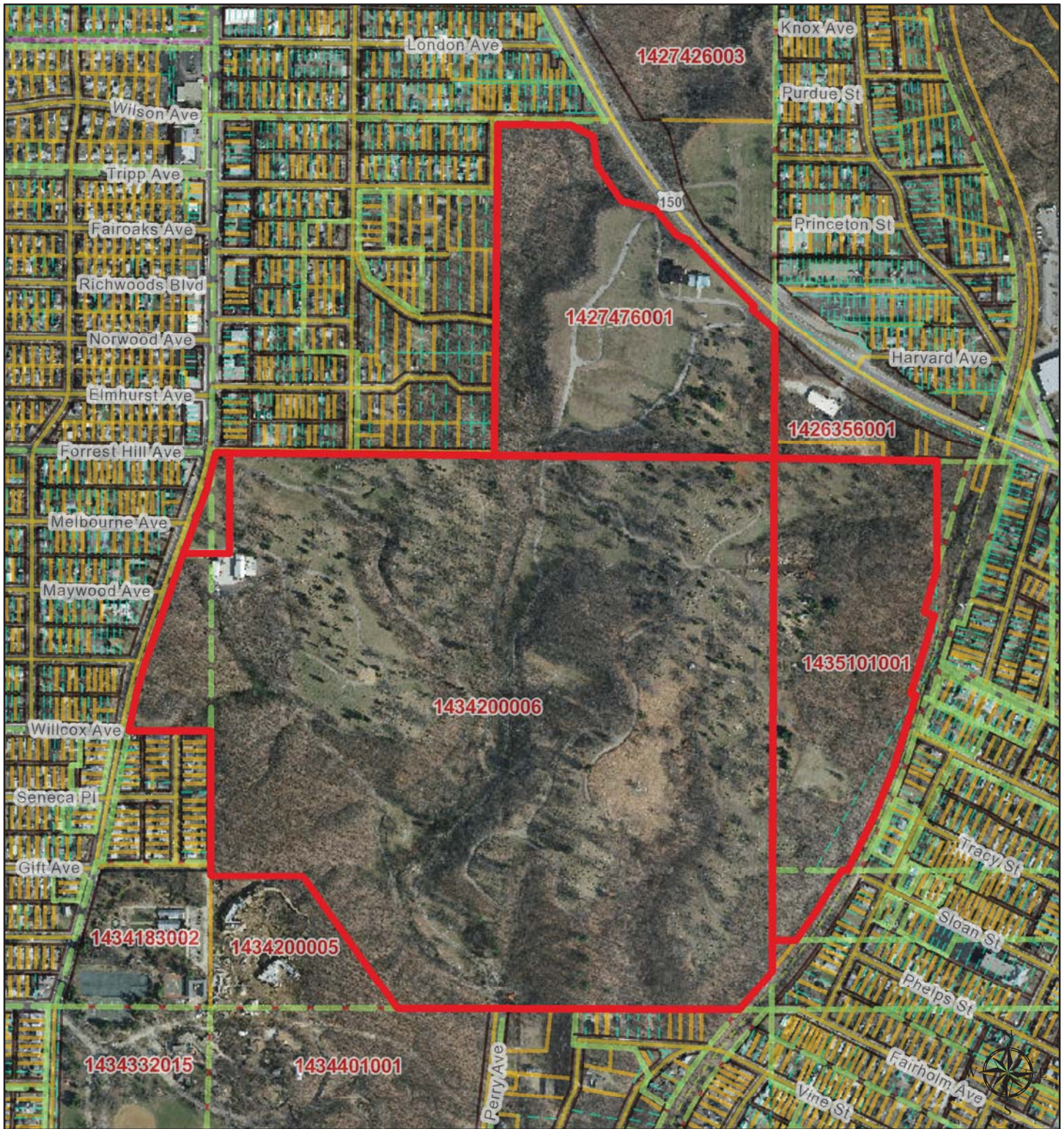


Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. -Peoria County GIS Division

Peoria County, IL, HERE, USGS



3014 N Prospect Road Aerial



1 inch = 667 feet



Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. -Peoria County GIS Division

Peoria County, IL, HERE, USGS
 County of Peoria, IL and the Sanborn Map Company, Inc.



Parallel INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256

CHICAGO SMSA LIMITED PARTNERSHIP

D.B.A. VERIZON WIRELESS

SITE NAME: E WISCONSIN & E ARCHER

PROJECT NUMBER: 20141017032

LOCATION CODE: 287872

SITE DATA:

1. PROPOSED RAWLAND SITE
2. PROPOSED OVERALL HEIGHT OF THE FLAG POLE STEALTH TOWER STRUCTURE TO BE 110'-0" A.G.L. TO THE TOP OF THE LIGHTNING ROD
3. PROPOSED CENTERLINE OF ANTENNAS TO BE MOUNTED AT 100'-0"
4. PROPOSED OUTDOOR EQUIPMENT CABINETS ON RAISED STEEL PLATFORM (11'-6" x 12'-0")
5. PROPOSED L.P. GENERATOR
6. PROPOSED 50' x 50' LEASE TRACT

FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

CALL J.U.L.I.E.
BEFORE ANY EXCAVATION
1-800-892-0123

TOWER PLANS AND PLATFORM PLANS ARE PROVIDED BY OTHERS AND HAVE BEEN COMBINED AND COMPILED INTO THESE CONSTRUCTION PLANS. SEE GENERAL NOTE 3 ON SHEET C2.

CHICAGO SMSA LIMITED PARTNERSHIP, D.B.A. VERIZON WIRELESS

REAL ESTATE MANAGER:
ERROL OUTARISINGH
1515 EAST WOODFIELD RD.
SCHAUMBURG, IL 60173
OFFICE: (847) 706-7995

CONSTRUCTION MANAGER:
RON PAULLY
500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278

CLS
CONSOLIDATED LAND SURVEYING

1300 W. COMMERCE DR. STE. 700
PEORIA, ILLINOIS 61615
LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
PHONE: 309-692-3434
FAX: 309-692-3433
PROFESSIONAL DESIGN FIRM NO. 184-002756

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF CONSOLIDATED LAND SURVEYING, INC. REPRODUCTION OR OTHER USE OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CONSOLIDATED LAND SURVEYING, INC. IS PROHIBITED.

ALL RIGHTS RESERVED © 2016



EXPIRES: 11-30-17

PREPARED BY: HRH 03-11-16

NO.	DATE	DESCRIPTION
1	3-29-16	ADDED TOWER PRINTING NOTE
2	3-31-16	REVISED EXISTING UTILITIES PER ADDITIONAL LOCATE
3	04-13-16	REVISED EQUIPMENT FOOTPRINT OF GENERATOR & GENERATOR ACCESS BARE THROUGH
4	04-21-16	REVISED PLATFORM ROOF

Parallel
INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256

SITE NAME:

E WISCONSIN & E ARCHER

SHEET NAME

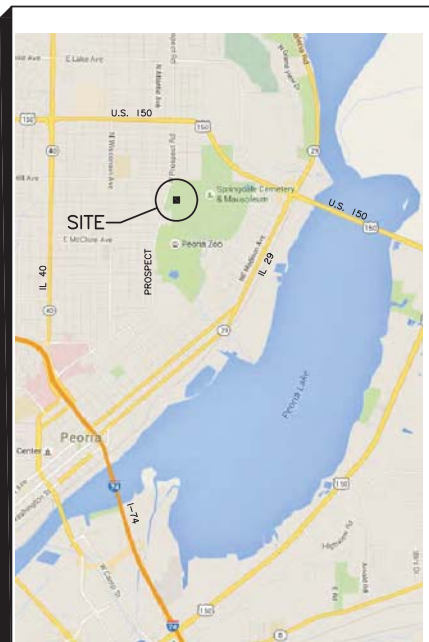
TITLE SHEET

SHEET NUMBER

T-1

JOB NUMBER

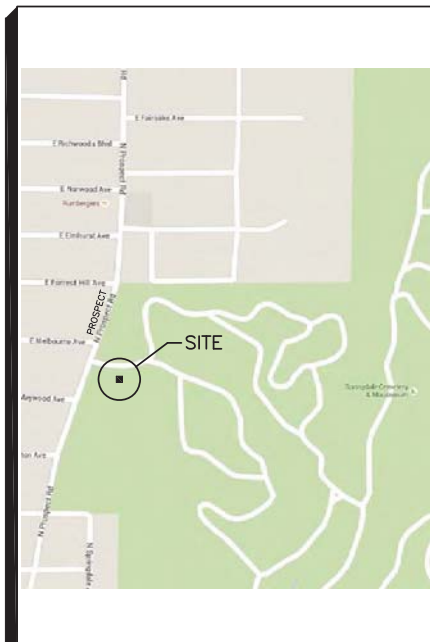
9663-9-8-34A-03



LOCATION MAP



NO SCALE



VICINITY MAP



NO SCALE

PROJECT SUMMARY

SITE NAME:
E WISCONSIN & E ARCHER

SITE ADDRESS:
3014 N. PROSPECT ROAD
PEORIA, IL 61603
RICHWOODS TOWNSHIP
PEORIA COUNTY

PROPERTY OWNER:
CITY OF PEORIA
CITY HALL, ROOM 300
419 FULTON STREET
PEORIA, IL 61602
(309) 494-8600
ROSS BLACK, ADMINISTRATOR

GEOGRAPHIC COORDINATES:
LATITUDE: 40°-43'-22.30" (NAD 83)
LONGITUDE: 089°-34'-27.50" (NAD 83)
A.M.S.L.: ELEV. 633.0

CURRENT ZONING:
RESIDENTIAL R-3

ZONING OFFICE & BUILDING PERMIT DATA:
CITY OF PEORIA
CITY HALL, ROOM 300
419 FULTON STREET
PEORIA, IL 61602
(309) 494-8600
ROSS BLACK, ADMINISTRATOR

COST OF BUILDING PERMIT: UNKNOWN

DIRECTIONS TO SITE

FROM SCHUMBURG, MERGE ONTO I-290 E. KEEP RIGHT AT THE FORK TO STAY ON I-290 E. FOLLOW SIGNS FOR CHICAGO. KEEP LEFT AT THE FORK TO CONTINUE ON I-355 S. FOLLOW SIGNS FOR INTERSTATE 355 S/JOLIET. KEEP LEFT AT THE FORK TO STAY ON I-355 S. USE THE 2ND FROM THE RIGHT LANE TO TAKE THE I-55 S EXIT TOWARD ST LOUIS. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR JOLIET RD S. KEEP LEFT, FOLLOW SIGNS FOR I-55 S/ST LOUIS AND MERGE ONTO I-55 S. TAKE EXIT 197 FOR IL-116 TOWARD PONTIAC/FLANAGAN. TURN RIGHT ONTO IL-116 W/1700 N RD/W REYNOLDS ST. CONTINUE TO FOLLOW IL-116 W. TURN LEFT ONTO IL-116 W/L-251 S. TURN RIGHT AT THE 1ST CROSS STREET ONTO IL-116 W. TURN LEFT ONTO IL-116 W/L-117 S. CONTINUE TO FOLLOW IL-116 W. CONTINUE STRAIGHT ONTO IL-116 W/W MT VERNON ST. CONTINUE TO FOLLOW IL-116 W. USE THE RIGHT LANE TO TAKE THE US 24 W/US 150 W RAMP TO PEORIA. MERGE ONTO US-150 W. TURN LEFT ONTO N PROSPECT RD. DESTINATION WILL BE ON THE LEFT.

CONSULTING TEAM

PROGRAM MANAGEMENT DIRECTOR
JENNIFER BROWN
PI TOWER DEVELOPMENT, LLC
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256
PHONE: (904) 450-4833

ELECTRICAL COMPANY:
AMEREN
8420 NORTH UNIVERSITY
PEORIA, IL 61615
CONTACT: MICHELLE McIRVIN
TEL.: (309) 693-4879
MCMIRVIN@AMEREN.COM
PREMISE # 583604310

FIRE DEPARTMENT:
PEORIA
FIRE DEPARTMENT

FIRE CENTRAL
505 HE MONROE STREET
PEORIA, IL 61602
TEL.: (309) 494-8746

HANDICAP REQUIREMENTS:

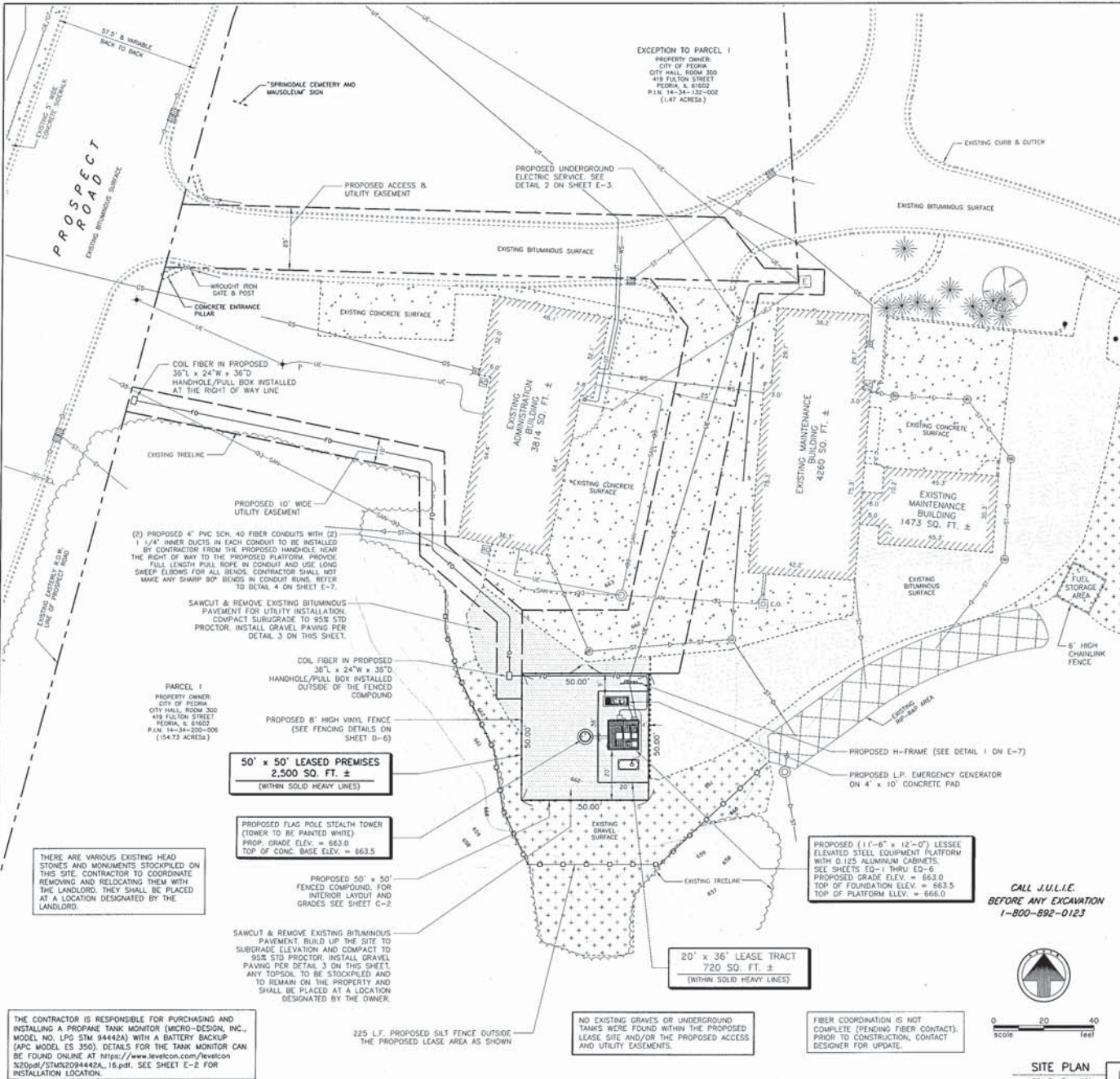
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS DO NOT APPLY.

SURVEYOR/ENGINEER:

CLS
CONSOLIDATED LAND SURVEYING, INC.
1300 W. COMMERCE DR. STE. 700 • PEORIA, ILLINOIS 61615
LAND SURVEYORS AND PROFESSIONAL ENGINEERS
309-692-3434
PROFESSIONAL DESIGN FIRM NO. 184-002756
rjphodges@clsland.com

SHEET INDEX

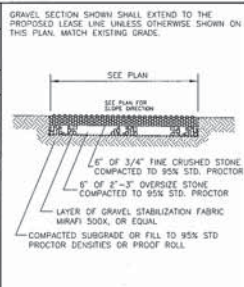
SHEET No.	DESCRIPTION
T-1	TITLE SHEET
C-1	PRINTING NOTE
C-2	ENLARGED SITE PLAN
C-3	EQUIPMENT PLATFORM FOUNDATION PLAN
C-4	GENERATOR FOUNDATION DETAILS
ANT-1	TOWER ELEVATION AND NOTES
ANT-2	ANTENNA INFORMATION
ANT-3	ANTENNA INFORMATION
EQ-1	EQUIPMENT PLATFORM FLOOR DIMENSION PLAN
EQ-2	EQUIPMENT PLATFORM FLOOR FRAMING PLAN
EQ-3	EQUIPMENT PLATFORM ROOF FRAMING PLAN
EQ-4	EQUIPMENT PLATFORM ELEVATIONS
EQ-5	EQUIPMENT DETAILS
EQ-6	EQUIPMENT DETAILS
D-1	SITE GROUNDING PLAN & NOTES
D-2	SITE GROUNDING PROFILE
D-3	SITE DETAILS
D-4	GROUNDING DETAILS
D-5	GROUNDING DETAILS & NOTES
D-6	FENCING DETAILS
E-1	UTILITY SITE PLAN AND NOTES
E-2	GENERATOR UTILITY ROUTING PLAN
E-3	UTILITY ROUTING PROFILE & NOTES
E-4	PLATFORM ELECTRICAL DETAILS
E-5	GENERATOR SINGLE LINE DIAGRAM AND ALARM WIRING
E-6	PANEL SCHEDULE AND LIGHTING PLAN
E-7	H-FRAME & TRENCH DETAILS
SP-1	SPECIFICATIONS
SP-2	SPECIFICATIONS
P-1	SITE PHOTOS
NTC-1	NOTICE TO CONTRACTORS
LS-1	LESSEE PLAY OF SURVEY
LS-1.1	LESSEE PLAY OF SURVEY LEGAL DESCRIPTIONS



BENCHMARK DATUM
 LOCATION: NORTH RIM OF EXISTING STORM INLET IN FRONT OF THE SITE
 ELEVATION: 662.00

LEGEND

- BOUNDARY LINE OF LEASED SITE
- - - PARENT PARCEL
- - - RIGHT OF WAY LINE
- - - EXISTING PROPERTY LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING BUILDING LINE
- HIGH RISE
- SURVEY PIPE OR ROD FOUND
- EXISTING SPOT ELEVATION
- EXISTING GAGE METER
- EXISTING MANHOLE
- YARD LIGHT
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- UTILITY POLE
- STREET LIGHT ON UTILITY POLE
- ELECTRIC TRANSFORMER
- YARD LIGHT
- FLAGPOLE
- STORM INLET
- CURB INLET
- EXISTING CLEANOUT
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- GASMAIN
- GAS SERVICE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- UNDERGROUND TELEPHONE
- CONCRETE SURFACE
- BITUMINOUS SURFACE
- GRAVEL SURFACE
- TREE
- BUSH
- TREE LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- INFORMATION OF RECORD



GRAVEL COMPOUND PAVING DETAIL
 NOT TO SCALE

CONSTRUCTION NOTES
 NOT TO SCALE

- The locations of existing utilities shown on this sheet are only approximate and may not be complete. The contractor shall verify location of all utilities in the field prior to commencing construction. Protect all existing utilities which are to remain. Upon discovery of unknown or concealed utilities, notify architect/owner immediately. Call J.U.L.I.E. at 1-800-892-0123.
- All proposed construction work shall be in accordance with the latest edition of the standard specifications for road and bridge construction in Illinois.
- All utility trenches in structural areas shall be backfilled to subgrade with trench backfill material and compacted to at least 95 percent of maximum dry density as determined by the standard proctor.
- A minimum of 8 inches of topsoil shall be placed in all unproved disturbed areas. Topsoil shall be fertile, friable, sandy loam and shall be free of roots, sticks and any other extraneous materials and toxic substances. Finish grade of all unproved disturbed areas to a condition suitable for landscaping.
- Traffic control during construction shall be in accordance with state and city requirements. All of lanes traffic control and construction procedures shall be performed in a way as to provide reasonable safety to all involved, including, but not limited to, construction workers, motorists and pedestrians. The safety of all involved shall be the sole responsibility of the contractor.
- All existing surrounding areas and property shall be properly protected from damage and left undisturbed from operations of the contractor. If such damage occurs, it shall be the sole responsibility of the contractor.
- Contractor shall verify all dimensions shown on the lower plans.
- Contractor shall acquire all permits that are required by the local authorities, and all construction work shall be performed in compliance with the requirements of all applicable local, state and federal laws, regulations and rules.
- See tower and building plans for respective site details.
- Elevations are above mean sea level.
- Do not scale any dimensions from this drawing.
- All existing recorded easements are indicated on this drawing to the best of the surveyor's knowledge per visual inspection, survey drawings and information received from the developer. Contractor shall contact J.U.L.I.E. at 1-800-892-0123 48 hours prior to start of construction to have underground utilities located and marked.
- All construction shall conform to the 1996 BOCA code, NEC code, IRC 2003 and per local county requirements.

ZONING OFFICE & BUILDING PERMIT DATA
 CITY OF PEORIA
 COMMUNITY DEVELOPMENT DEPARTMENT
 CITY HALL, ROOM 300
 419 FULTON STREET
 PEORIA, IL 61602
 CONTACT: ROSS BLACK, ADMINISTRATOR
 (309) 454-8600

COST OF BUILDING PERMIT: UNKNOWN

THE CONTRACTOR IS RESPONSIBLE FOR PICKING UP THE BUILDING PERMIT AND FOR PAYING PERMIT FEES.

SPECIAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CELL SITE AND RADIO STATION PROTECTION ENGINEERING CONSIDERATIONS, PRACTICE 08-887-030-085, ISSUE 2, DATED JULY 2001/PAGES 1-69.
- 24 HOURS NOTICE SHALL BE GIVEN TO THE CONSTRUCTION MANAGER AND THE RESPONSIBLE SITE TECHNICIANS PRIOR TO CLOSING TRENCHES FOR INSPECTION OF GROUNDING.
- THE CONTRACTOR SHALL NOTIFY THE PROPERTY CONTACT OR OWNER A MINIMUM OF 24 HOURS PRIOR TO ENTERING THE PROPERTY.
- THE CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH STANDARDS ISSUED UNDER THE OSH ACT THAT APPLY TO ACTIONS AND CONDUCT OF WORKERS AND PERSONNEL ON THE JOB SITE.
- THE CONTRACTOR MUST FURNISH ALL EMPLOYEES A SAFE AND HEALTHFUL WORKING ENVIRONMENT FREE FROM RECOGNIZED HAZARDS.
- THE CONTRACTOR SHALL PROVIDE PERSONAL PROTECTIVE EQUIPMENT FOR ALL WORKERS AND PERSONNEL.
- THE SITE CONTRACTORS SHALL BE MINDFUL OF KEEPING THE ACCESS DRIVE AND THE PUBLIC STREET CLEAN OF DEBRIS, MUD AND DIRT DURING CONSTRUCTION. THEY SHALL PROVIDE CLEAN-UP AT LEAST TWICE DAILY AS NEEDED OR AS DIRECTED BY THE LOCAL INSPECTIONS DEPARTMENT.

PREPARED BY: MRM 03-11-16

1	3-29-16	ADDED TOWER PARKING NOTE
2	3-31-16	REVISED EXISTING UTILITIES PER AERIAL PHOTO
3	04-13-16	REVISED EQUIPMENT LAYOUT & PL GEN.

Parallel INFRASTRUCTURE
 P1 TOWER DEVELOPMENT LLC
 7411 FULLERTON STREET, SUITE 110
 JACKSONVILLE, FL 32256

SITE NAME:
E WISCONSIN & E ARCHER

SHEET NAME:
SITE PLAN

SHEET NUMBER:
C-1

JOB NUMBER:
 9663-9-B-34A-03

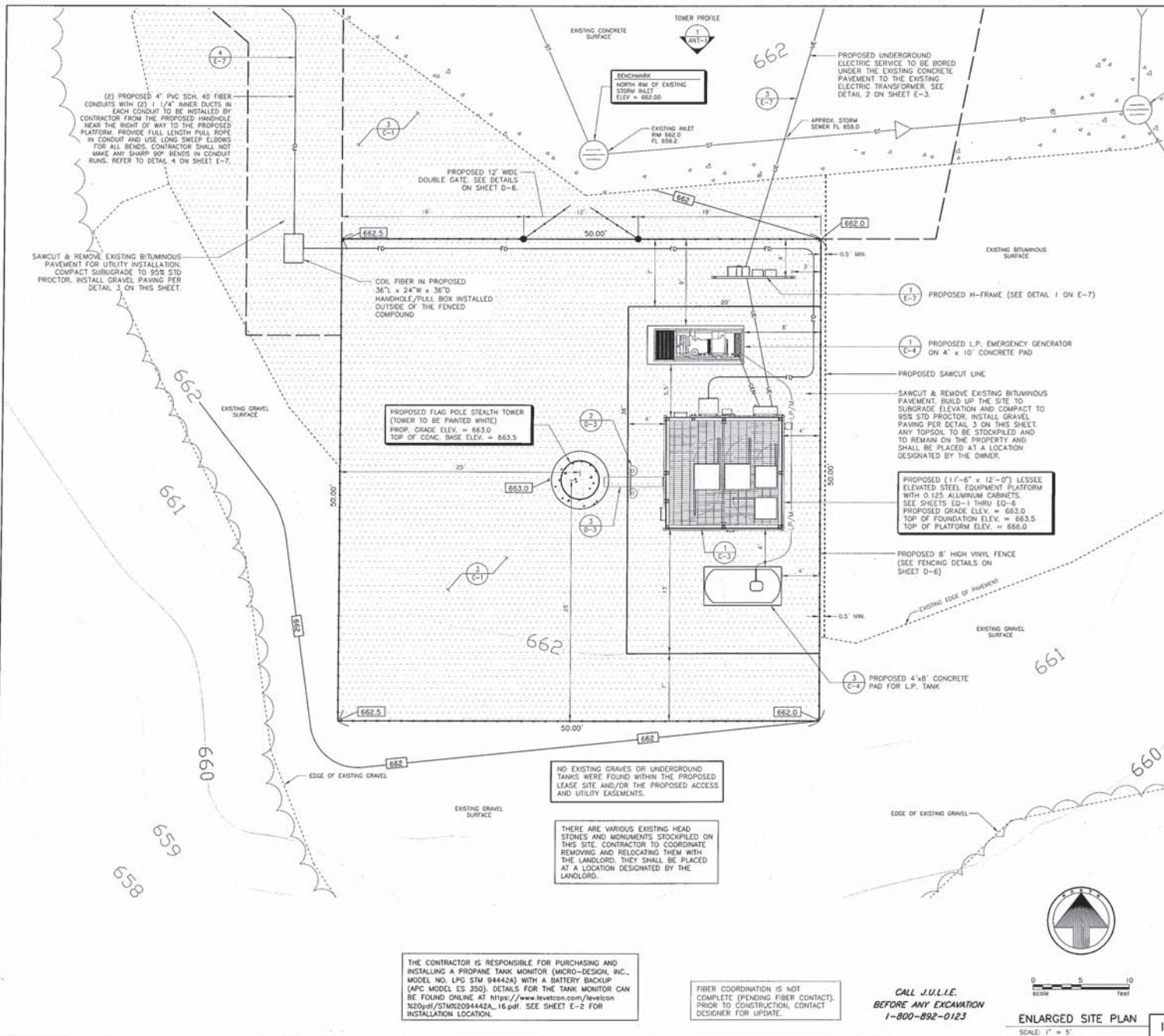
CHICAGO SMSA LIMITED PARTNERSHIP, D.B.A. VERIZON WIRELESS

REAL ESTATE MANAGER:
 ERIC OUTARGINCH
 1515 EAST WOODFIELD RD.
 SCHMIDT, IL 60173
 OFFICE: (847) 706-7995

CONSTRUCTION MANAGER:
 RON PAULY
 500 TECHNOLOGY DRIVE
 2ND FLOOR
 WELDON SPRING, MD 33304
 OFFICE: (636) 793-9278

CLS CONSOLIDATED LAND SURVEYING
 1300 W. COMMERCE DR. STE. 700
 PEORIA, ILLINOIS 61615
 LAND SURVEYORS AND PROFESSIONAL ENGINEERS
 PHONE: 309-692-3434
 FAX: 309-692-3433
 PROFESSIONAL DESIGNER REG. NO. 041-007078

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF CONSOLIDATED LAND SURVEYING, INC. REPRODUCTION OR OTHER USE OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CONSOLIDATED LAND SURVEYING, INC. IS PROHIBITED.
 ALL RIGHTS RESERVED © 2016



BENCHMARK DATUM
 LOCATION: NORTH RM OF EXISTING STORM INLET IN FRONT OF THE SITE.
 ELEVATION: 662.00

GENERAL NOTES

- SEE SHEET C-1 FOR LEGEND.
- SEE SHEET SP-1 & SP-2 FOR CONSTRUCTION NOTES & SPECIFICATIONS.
- TOWER PLANS, PLATFORM PLANS, GROUNDING PLANS AND ANTENNA CONFIGURATION DESIGN WERE PROVIDED BY DIFFERENT ENGINEERING FIRMS AND EQUIPMENT MANUFACTURERS. CONSOLIDATED LAND SURVEYING, INC. HAS COMBINED AND COMPILED THIS DATA INTO CONSTRUCTION PLANS FOR THIS PROJECT.
- ALL SITE PREPARATION AND UTILITIES CONSTRUCTION CONCERNING GRAVEL, PAVEMENTS, TREESHING, BACKFILLING, STORM SEWER, EXCAVATION, ETC., IF NOT SPECIFICALLY DETAILED OR SPECIFIED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND ARE AVAILABLE AT OUR OFFICE FOR EXAMINATION.

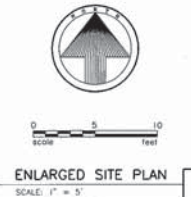
CONTRACTOR NOTES

- IF THE CONTRACTOR ENCOUNTERS A CONFLICT OR DISCREPANCY BETWEEN THE PLAN VERSUS SITE CONDITIONS OR LOCAL CODES, HE SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE TO ADDRESS AND RESOLVE THESE CONFLICTS OR DISCREPANCIES, PRIOR TO BIDDING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ELECTRICAL POWER PROVIDER AND INCLUDING THE COST OF OBTAINING ELECTRICAL SERVICE IN THEIR BID.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID AND IS RESPONSIBLE FOR THE COST OF THE ANTENNA MOUNTS, COAX SUPPORTS, AS NEEDED, THE COAX BRIDGE AND ALL NECESSARY HARDWARE.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID AND IS RESPONSIBLE FOR THE COST OF EXTENDING THE GENERATOR VENT PIPE 6 INCHES ABOVE THE ROOF LINE AFTER THE GENERATOR SHELTER IS IN PLACE IF APPLICABLE.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID AND IS RESPONSIBLE FOR THE COST OF INSTALLING THE GPS ANTENNA ON A 1/4" DIA. GALVANIZED PIPE. ANTENNA MOUNTS AND ALL NECESSARY HARDWARE AND BRACKETS. THE GPS ANTENNA SHALL BE MOUNTED TO THE COAX BRIDGE AS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL SHEEP TEST ALL COAX LINES AND VERIFY WITH OPERATIONS PERSONNEL PRIOR TO PULLING OFF THE JOB. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE TIME OF THE SHEEP TEST.
- THE CONTRACTOR SHALL BRING THE COAX LINES FROM THE COAX BRIDGE TO INSIDE THE EQUIPMENT PLATFORM BEFORE CUTTING THE COAX.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL CONSTRUCTION DOCUMENTS AND CONSTRUCTION PLANS PRIOR TO SUBMITTING THEIR BID. THE SUBMITTER OF THEIR BID ACKNOWLEDGES THAT THEIR REVIEW OF SUCH DOCUMENTS AND PLANS ARE COMPLETE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL SAFETY AND HEALTH STANDARDS ISSUED UNDER THE OSHA ACT THAT APPLY TO ACTIONS AND CONDUCT OF WORKERS AND PERSONNEL ON THE JOB SITE.
- THE CONTRACTOR MUST FURNISH ALL EMPLOYEES A SAFE AND HEALTHFUL WORKING ENVIRONMENT FREE FROM RECOGNIZED HAZARDS.
- THE CONTRACTOR SHALL PROVIDE PERSONAL PROTECTIVE EQUIPMENT FOR ALL WORKERS AND PERSONNEL.
- LOCATION OF ANY FIELD TILE IS UNKNOWN. CONTRACTOR SHALL FIELD VERIFY TILE LOCATIONS PRIOR TO CONSTRUCTION, AS WELL AS USE CAUTION TO PREVENT ANY DAMAGE TO SAID TILE. ANY DAMAGE THAT OCCURS DURING CONSTRUCTION TO FIELD TILE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND/OR REPLACE.

THE CONTRACTOR IS RESPONSIBLE FOR PURCHASING AND INSTALLING A PROPANE TANK MONITOR (MICRO-DESIGN, INC., MODEL NO. LPG STM 844424) WITH A BATTERY BACKUP (APC MODEL ES 350). DETAILS FOR THE TANK MONITOR CAN BE FOUND ONLINE AT http://www.livetcon.com/livetcon%2000/STMR20044424_16.pdf. SEE SHEET E-2 FOR INSTALLATION LOCATION.

FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER FOR UPDATE.

CALL J.U.L.I.E.
 BEFORE ANY EXCAVATION
 1-800-892-0123



CHICAGO SMSA LIMITED PARTNERSHIP, D.B.A. VERIZON WIRELESS
 REAL ESTATE MANAGER:
 1515 EAST WOODFIELD RD
 SCHAUMBURG, IL 60173
 OFFICE: (847) 706-7995
 CONSTRUCTION MANAGER:
 RON PAULY
 500 TECHNOLOGY DRIVE
 2ND FLOOR
 WELDON SPRING, MO 63304
 OFFICE: (636) 793-9278

CLS
 CONSOLIDATED LAND SURVEYING
 1300 W. COMMERCE DR. STE. 700
 PEORIA, ILLINOIS 61615
 LAND SURVEYORS
 AND PROFESSIONAL ENGINEERS
 PHONE: 309-692-3434
 FAX: 309-692-3433
 PROFESSIONAL REG. NO. 181-007278

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF CONSOLIDATED LAND SURVEYING, INC. REPRODUCTION OR OTHER USE OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CONSOLIDATED LAND SURVEYING, INC. IS PROHIBITED.
 ALL RIGHTS RESERVED © 2018

PREPARED BY: HRH 03-11-18

1	3-29-18	ADDED TOWER PAINTING NOTE
2	04-13-18	REVISED EQUIPMENT LAYOUT & LP GEN.

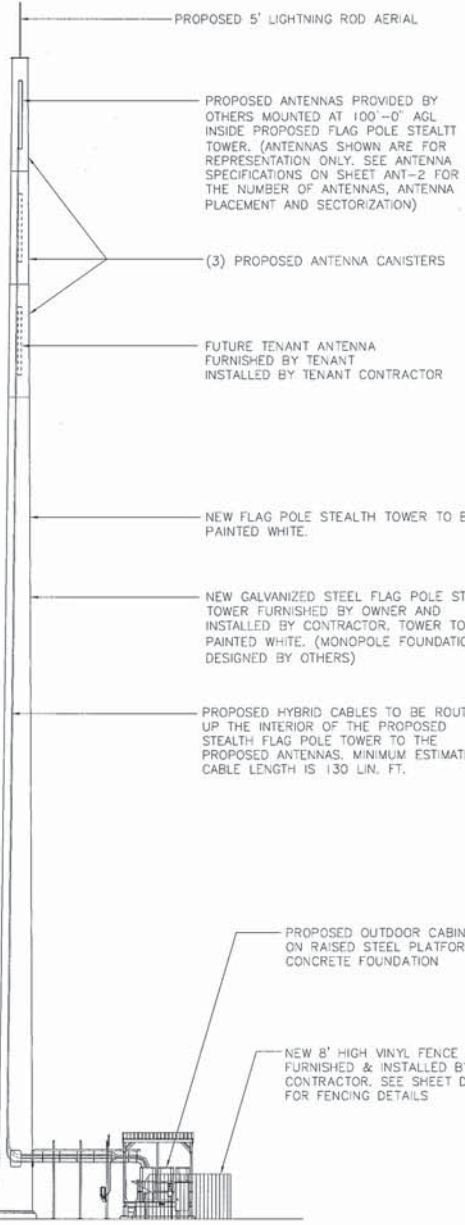
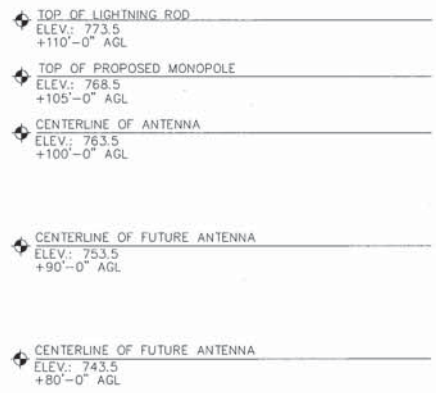
Parallel
 INFRASTRUCTURE
 P1 TOWER DEVELOPMENT LLC
 7411 FULLERTON STREET, SUITE 110
 JACKSONVILLE, FL 32256

SITE NAME:
E WISCONSIN & E ARCHER

SHEET NAME
ENLARGED SITE PLAN

SHEET NUMBER
C-2

JOB NUMBER
 9663-9-8-34A-03



TOWER NOTES:

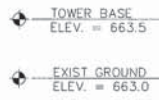
1. COAX LADDER OR BRACKETS AND HARDWARE WILL NEED TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
2. IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY OTHERS.

STRUCTURAL NOTES:

1. STRUCTURAL CALCULATION PREPARED BY OTHERS. CONTRACTOR TO COORDINATE WITH REPRESENTATIVE TO OBTAIN A COPY.
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

NOTES:

1. VERIFY EACH COAXIAL CABLE LENGTH, ROUTING AND ALL MOUNTING APPURTENANCES WITH OWNER PRIOR TO ORDERING.
2. THE MINIMUM COAXIAL CABLE LENGTH HAS BEEN ESTIMATED AT 130 FEET EACH WITH A CORRESPONDING CABLE DIAMETER AS SHOWN ON SHEET ANT-2. THIS CABLE LENGTH IS APPROXIMATE AND IS NOT TO BE USED FOR CONSTRUCTION. ACTUAL CABLE LENGTHS MAY VARY FROM ESTIMATED MINIMUM LENGTH AND MUST BE VERIFIED.
3. TAG ALL MAIN CABLES (LABELED ACCORDING TO SPECS) AT FOUR (4) LOCATIONS:
 - A. 1 ID TAG ON THE BOTTOM 1/2" JUMPER COMING FROM THE LUCCENT EQUIPMENT
 - B. 1 ID TAG ON THE BOTTOM MAIN LINE AT PLATFORM NEAR THE MAIN CONNECTOR
 - C. 1 ID TAG ON THE TOP MAIN LINE NEAR THE MAIN CONNECTOR
 - D. 1 ID TAG ON THE TOP 1/2" JUMPER NEAR THE ANTENNA
4. CONTRACTOR TO AFFIX TAGS ON THE MAIN CABLES USING A MORE PERMANENT METHOD THAN TIE WRAPS. CONTACT CONSTRUCTION MANAGER FOR SUFFICIENT METHODS.
5. IN THE EVENT DIPLEXERS AND/OR OTHER EQUIPMENT IS ADDED INTO THE SYSTEM, TAGGING WILL BE CHANGED FROM NOTE 3. CONTACT CONSTRUCTION MANAGER FOR SUFFICIENT METHODS.
6. EACH COAX SHALL BE SUPPORTED COLUMN GRIP (CHINESE FINGER GRIP) HUNG FROM A J-HOOK AT TOP OF TOWER, (10' ABOVE FOR LATTICE TOWER).
7. EACH COAX SHALL BE GROUNDED AT THREE (3) LOCATIONS:
 - A. TOWER PLATFORM OR V-FRAME
 - B. TOWER BASE
 - C. OUTSIDE EQUIPMENT PLATFORM UNDER ROOF CANOPY
8. COAXIAL CABLES TO BE SUPPORTED EVERY 3'-0" ON PLATFORM OR V-FRAME WITH STAINLESS STEEL HANGERS.
9. COAXIAL CABLES TO BE SUPPORTED EVERY 18" WITH STAINLESS STEEL HANGERS.
10. ANTENNA CONTRACTOR RESPONSIBLE FOR FABRICATION ENCLOSURE JUMPERS.
11. COAX TYPE WILL BE AVA7-50 AIR FOAM DIELECTRIC CABLE FROM ANDREW TO REPLACE THE OLDER LDF7-50 CABLE.
12. THE CONTRACTOR SHALL USE PPC CONNECTORS ONLY. NO ANDREW CONNECTORS SHALL BE USED.



ELEVATION - LOOKING SOUTH
NOT TO SCALE

CHICAGO SMSA LIMITED PARTNERSHIP, D.B.A. VERIZON WIRELESS
REAL ESTATE MANAGER:
ERRIC OUTARSDING
1515 EAST WOODFIELD RD
SCHAUMBURG, IL 60173
OFFICE: (847) 706-7995
CONSTRUCTION MANAGER:
RON PAULY
500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278

CLS
CONSOLIDATED LAND SURVEYING
1300 W. COMMERCE DR. STE. 700
PEORIA, ILLINOIS 61615
LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
PHONE: 309-692-3434
FAX: 309-692-3433
PROFESSIONAL DESIGN FIRM NO. 04-000758

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF CONSOLIDATED LAND SURVEYING, INC. REPRODUCTION OR OTHER USE OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CONSOLIDATED LAND SURVEYING, INC. IS PROHIBITED.
ALL RIGHTS RESERVED © 2016

PREPARED BY:	HRH	03-11-16
1	2-29-16	REVISD TOWER PAINTING NOTE

Parallel
INFRASTRUCTURE
PI TOWER DEVELOPMENT LLC
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256

SITE NAME:
E WISCONSIN & E ARCHER

SHEET NAME
TOWER ELEVATION AND NOTES

SHEET NUMBER
ANT-1

JOB NUMBER
9663-9-B-34A-03



STANDING NORTHEAST OF THE SITE AT THE EXISTING ELECTRIC TRANSFORMER (LOOKING WEST)



STANDING AT THE SITE IN THE ACCESS EASEMENT (LOOKING NORTH)



STANDING WEST OF THE SITE ACROSS FROM THE ACCESS EASEMENT (LOOKING EAST)



STANDING NORTH OF THE SITE IN THE ACCESS EASEMENT (LOOKING SOUTH)



STANDING NORTH OF THE SITE IN THE ACCESS EASEMENT (LOOKING SOUTH)



STANDING NORTH OF THE SITE NEAR THE ACCESS EASEMENT (LOOKING WEST)



STANDING EAST OF THE SITE (LOOKING WEST)



STANDING NORTH OF THE SITE IN THE ACCESS EASEMENT (LOOKING SOUTH)



STANDING WEST OF THE SITE (LOOKING EAST)

CHICAGO SMSA LIMITED PARTNERSHIP, D.B.A. VERIZON WIRELESS

REAL ESTATE MANAGER:
ERROL OUTARSHING
1515 EAST WOODFIELD RD.
SCHAUMBURG, IL 60173
OFFICE: (847) 706-7995

CONSTRUCTION MANAGER:
RON PAULLY
500 TECHNOLOGY DRIVE
2ND FLOOR
WELDON SPRING, MO 63304
OFFICE: (636) 793-9278

CLS
CONSOLIDATED LAND SURVEYING

1300 W. COMMERCE DR. STE. 700
PEORIA, ILLINOIS 61615
LAND SURVEYORS
AND PROFESSIONAL ENGINEERS
PHONE: 309-692-3434
FAX: 309-692-3433
PROFESSIONAL DESIGN FIRM NO. 08-002788

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF CONSOLIDATED LAND SURVEYING, INC. REPRODUCTION OR OTHER USE OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CONSOLIDATED LAND SURVEYING, INC. IS PROHIBITED.

ALL RIGHTS RESERVED © 2016

PREPARED BY: HRH 03-11-16

Parallel
INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256

SITE NAME:

**E WISCONSIN
& E ARCHER**

SHEET NAME

SITE PHOTOS

SHEET NUMBER

P-1

JOB NUMBER

9663-9-8-34A-03











East Wisconsin and Archer Ave

RF Justification



Proposed Site Summary

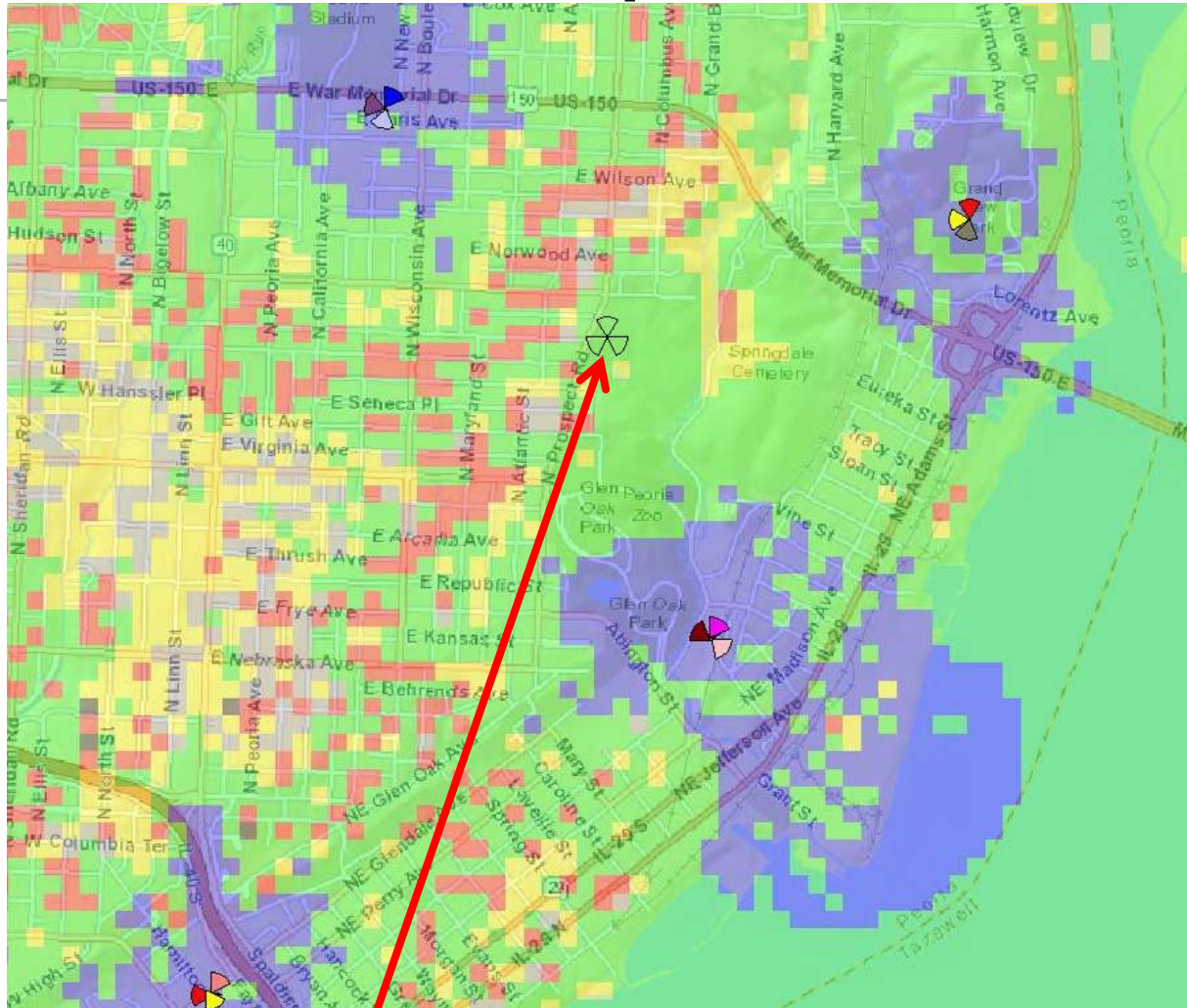
The primary objectives of this site are:

1. Improve coverage near War Memorial Drive and N Prospect Road.
2. Add capacity to the area. Off load existing cell sites near Peoria Heights and Glen Oaks.

- Coverage plots generated at 700 MHz



With-out Proposed Site

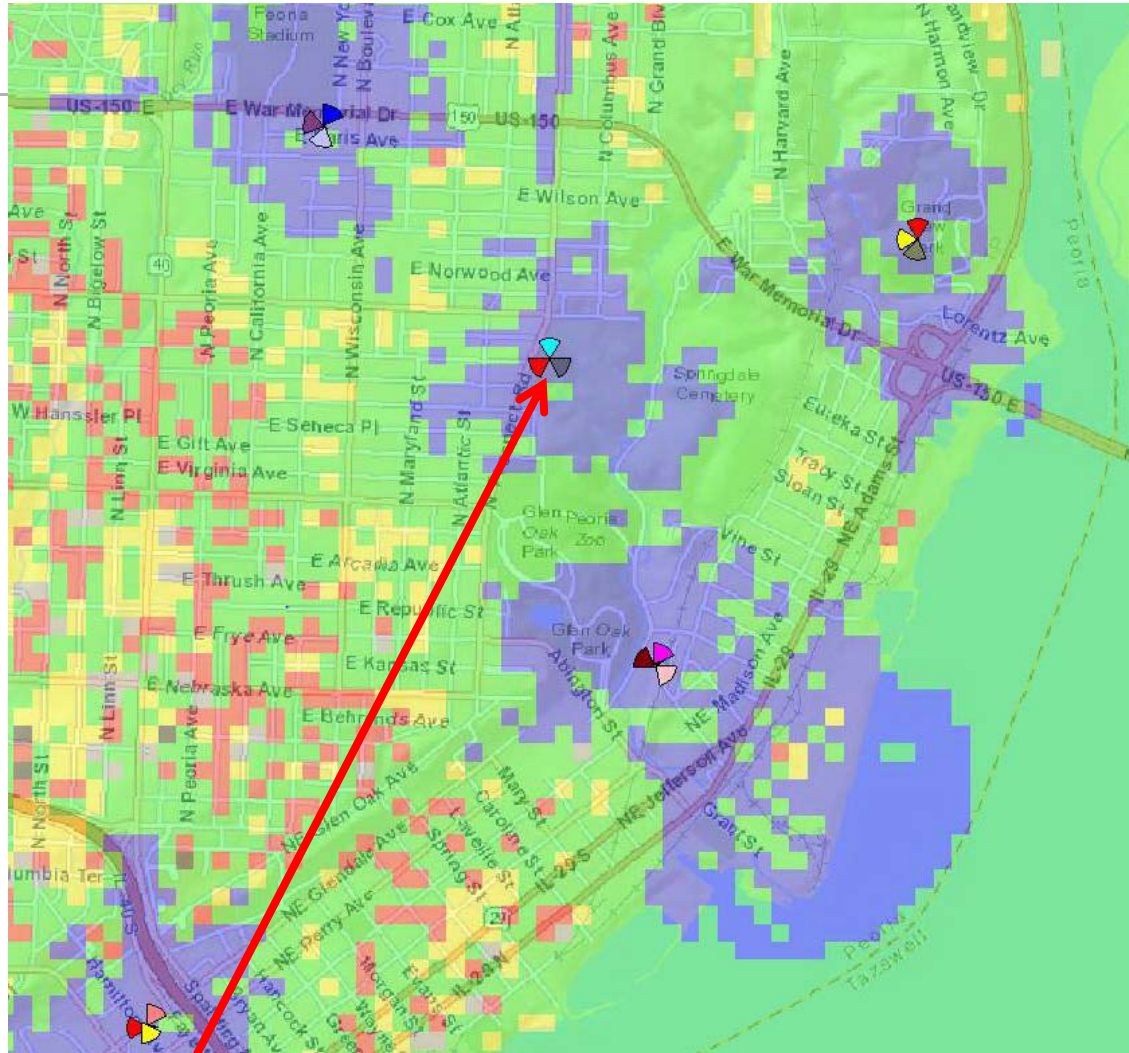


Reliable In-Residence
Reliable In-Vehicle
Reliable On-Street
Marginal Coverage

Proposed new site location



With Proposed Site



- Reliable In-Residence
- Reliable In-Vehicle
- Reliable On-Street
- Marginal Coverage

Proposed new site location



List of Existing Sites in Peoria

1. **S Peoria HTS:** 1003 N. Toledo Avenue. Verizon antennas installed on a water tower at 99ft.
2. **Stadium:** 525 East Paris Avenue. Verizon antennas installed on a monopole at 110ft.
3. **University:** 3511 N Dries Lane. Verizon antennas installed on a monopole at 120ft.
4. **Peoria Central:** 1790 W. Gift Avenue. Verizon antennas installed on a monopole at 100ft.
5. **Bradley:** 922 N. Glenwood Avenue. Verizon antennas installed on a self support structure at 112ft.
6. **YMCA:** 714 Hamilton BLVD. Verizon antennas installed on a roof top at 87ft.
7. **Glen Oaks:** 2120 Northeast Perry. Verizon antennas installed on a self support structure at 182ft.



June 29, 2016

RE: Proposed Wireless Telecommunications Facility at 3014 N Prospect Collocation Feasibility

To Whom It May Concern:

Parallel Infrastructure and Verizon Wireless conducted an extensive search of all possible candidate locations within and outside a RF targeted location necessary to satisfy the network capacity and coverage requirements. After our extensive and exhaustive search of all viable candidates in this highly residential area, it is our professional opinion the Springdale Cemetery & Mausoleum is the best location in the area for a new wireless facility.

Parallel Infrastructure and Verizon Wireless have designed the proposed stealth wireless facility with the ability to collocate another wireless carrier. The proposed facility will consist of a 105' stealth flagpole tower and a 50' x 50' lease area, which can accommodate four carriers. The flagpole has been designed at 105' to better blend into and not affect the character of the neighborhood. In a traditional monopole design all of each carrier's antennas can be at the same height, however with a stealth flagpole carriers will stack their antennas at multiple heights. Each carrier's equipment will use approximately 10' of the height of the flagpole. Verizon will place their equipment at a 100' centerline. The next carrier will place their equipment at a 90' centerline.

Parallel Infrastructure and Verizon Wireless believe that 3014 N Prospect should be recommended for approval before the Planning and Zoning Commission for the proposed wireless telecommunications facility as it meets all of Verizon network's parameters and satisfies the requirements of the City of Peoria.

Sincerely,

Kathleen H. Groark
Insite RE, Inc.
1s660 Midwest Rd., Ste. 140
Oakbrook Terrace, IL 60181
(224) 531-1370
groark@insite-inc.com

**PI TOWER DEVELOPMENT, LLC.
WIRELESS COMMUNICATIONS FACILITY**

**APPLICATION FOR A SPECIAL USE PERMIT, LANDSCAPING
VARIANCE, AND STRUCTURE DESIGN VARIANCE**

3014 N. PROSPECT RD, PEORIA, IL 61603

CITY OF PEORIA WIRELESS COMMUNICATIONS FACILITY PROJECT SUMMARY

Petitioner

Verizon Wireless is a leading national wireless phone carrier and offers one of the finest wireless communications networks in the nation. PI Tower Development, LLC is a tower company that provides wireless towers to wireless phone carriers for collocation. Parallel Infrastructure, on behalf of Verizon Wireless, has negotiated a lease to install a wireless antenna facility at 3014 N. Prospect Rd, Peoria, IL 61603.

Collocation

Collocation is the placement of wireless antennas on existing towers or structures. Utilizing such structures offers your community improved wireless service while minimizing the proliferation of towers. Construction of the proposed new stealth tower would allow another company to collocate, minimizing the proliferation of towers in the area.

The wireless industry is enjoying explosive growth, both domestically and internationally. Industry sources anticipate the number of antenna sites in the United States will continue to grow. Without collocation, the number of towers could increase 600 percent or more.

Cellular and other wireless phones have become a widely used and accepted form of business, personal and other communications. In addition to traditional voice service, people are using them for access the Internet, text messaging, email and other data transfer. In addition to the many well-know business and personal uses of wireless communications, wireless phone networks have become a critical part of the nation's emergency communications infrastructure. Recent studies indicate that over 65 million "911" and distress calls were placed on wireless phones in the United States annually. Wireless networks not only provide a means for everyday business and personal communications, but have also become an essential part of the nation's emergency communications infrastructure.

Property Description

Parallel Infrastructure, on behalf of Verizon Wireless, proposes to install a 110' - 0" stealth flagpole tower with new antennas at the height of 100'-0". The new flagpole will have the capacity to accommodate (1) additional carrier. Verizon Wireless will place its antennas at a height of 100'. The lease area will be enclosed by a matching the existing fence. Verizon's related equipment will be located within an approximate (20' x 36') lease area adjacent to the monopole. Access to the facility will be via the existing access road off N. Prospect Road. The proposed facility lies within the R3 – Single Family Residential District.

Nature of Request/Zoning Analysis

Article 3.3(c), Application Process, of the City of Peoria Zoning Ordinance, states in relevant part that **telecommunications installations which are not exempt, shall require a Special Use approval and are subject to the provisions and procedures of Section 2.15 Special Uses of this Ordinance.**

Article 3.3(d)(8), Landscaping, of the City of Peoria Zoning Ordinance, states in relevant part that **equipment shelters shall be landscaped and maintained with a buffer of plant materials that screens the view of the shelter from adjacent street and/or residential properties. The standard buffer shall consist of a landscaped strip at least ten (10) feet wide outside the perimeter of the fence surrounding the equipment shelter.**

Article 3.3(d)(7), Accessory Building/Structure Design, of the City of Peoria Zoning Ordinance, states in relevant part that **fence enclosures shall include wrought iron. This shall include the utilization of stealth or concealment designs as may be required by the City.**

Article 3.3(n), Relief, of the City of Peoria Zoning Ordinance, states in relevant part that **any applicant desiring relief, waiver or exemption from any aspect or requirement of this Ordinance may request such, provided that the relief or exemption is contained in the submitted Application for either a Special Use or Administrative Permit, or in the case of an existing or previously granted Special Use or Administrative Permit a request for modification of its tower and/or facilities.**

Pursuant to the above referenced sections of the City of Peoria Zoning Ordinance, Parallel Infrastructure, on behalf of Verizon Wireless, seeks a Special Use Permit, Waiver for Landscaping and Fence, Waiver for Accessory Building/Structure Design, and any other permits necessary to allow the installation of its proposed wireless communications facility located at 3014 N. Prospect Rd, Peoria, IL 61603.

Parallel Infrastructure, on behalf of Verizon Wireless', proposed wireless communications facility complies with all of the standards and requirements for **wireless communications facilities** as set forth in the *City of Peoria Zoning Ordinances*.

Components and Operations

The proposed facility will be unstaffed and, upon completion, will require only infrequent maintenance visits (approximately once a month) by a service technician. Access to the proposed facility will be via the access road off N. Prospect Rd. Hence, the facility will not have any material impact on traffic or parking.

The proposed facility is entirely self-monitored by sophisticated computers which connect directly to a central office and which alert personnel to equipment malfunction or breach of security. Moreover, no material noise, glare, smoke, debris, traffic flow or any other nuisance will be generated by the proposed facility.

The proposed facility will be designed and constructed to meet applicable governmental and industry safety standards. Specifically, Parallel Infrastructure, on behalf of Verizon, will comply with FCC and FAA rules governing construction requirements, technical standards, interference protection, power and height limitations and radio frequency standards.

The applicant's proposed Wireless Telecommunications Facilities shall be maintained in a safe manner, and in compliance with all conditions of the Special Use Permit, without exception, unless specifically granted relief by the City in writing, as well as all applicable and permissible local codes, ordinances, and regulations, including any and all applicable city, state and federal laws, rules, and regulations.

Requested Action

PI Tower Development, LLC, on behalf of Verizon Wireless, respectfully requests a Special Use Permit, a Variance from Landscaping, a Variance from Structure Design, and any other relief necessary to accommodate the installation of its proposed wireless communications facility on 3014 N. Prospect Rd, Peoria, IL 61603.

PI Tower Development, LLC, on behalf of Verizon Wireless, expressly reserves all of its rights, including those available to it under the City of Peoria Zoning Ordinance or any other state, local or federal law.