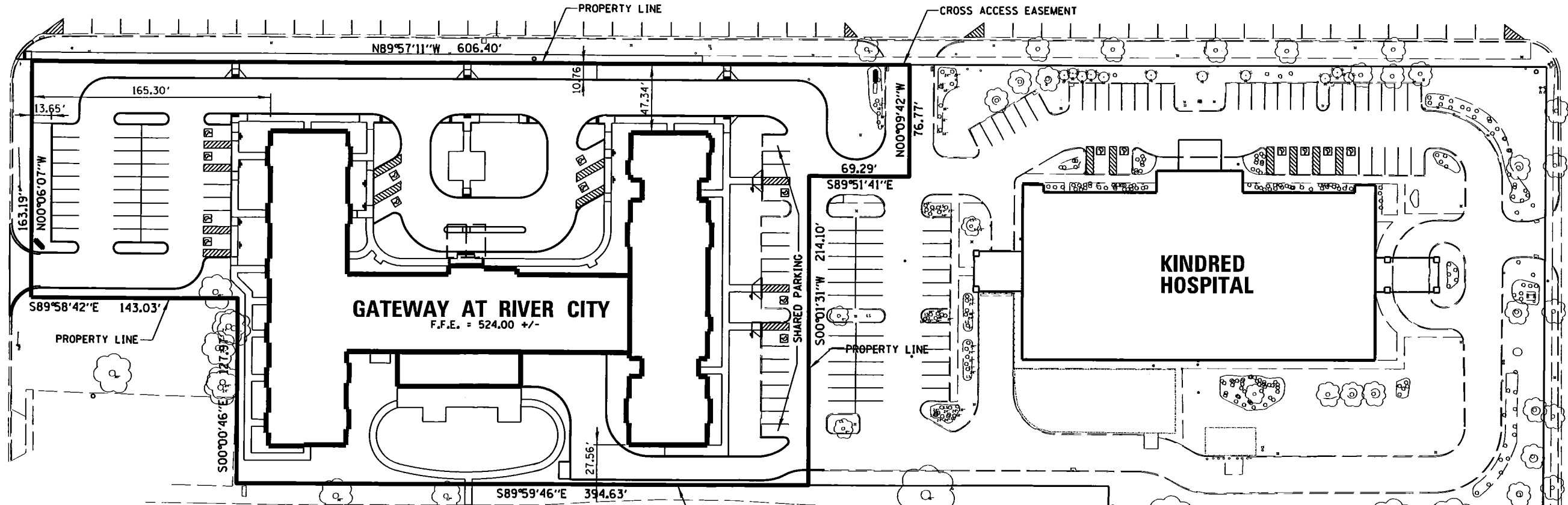


WEST R. B. GARRETT AVENUE

N. RICHARD PRYOR PLACE

N. HIGHTOWER ST.



R-6 ZONING

ZONING: GENERAL COMMERCIAL (CG) SPECIAL USE, GENERAL FRONTAGE

LOT AREA: 3.291 ACRES

PARKING

GATEWAY AT RIVER CITY

PARKING REQUIRED: CONVALESCENT HOME, NURSING HOME, ELDERLY HOUSING
1 PER 3 RESIDENTS + 1 PER EMPLOYEE
110 BEDS/3 = 37 SPACES + 35 EMPLOYEES = 72 SPACES
3 HANDICAP ACCESSIBLE SPACES
PARKING PROVIDED: 38 ON SITE INCLUDING 10 HANDICAP ACCESSIBLE SPACES
27 ON STREET
TOTAL = 65 SPACES INCLUDING 7 HANDICAP ACCESSIBLE SPACES

KINDRED HOSPITAL

PARKING REQUIRED (2007) = 100 SPACES INCLUDING 5 HANDICAP SPACES
PARKING PROVIDED (2007) = 109 SPACES INCLUDING 6 HANDICAP SPACES (EXISTING)
PARKING PROVIDED AFTER LOT SPLIT = 80 SPACES ON SITE
18 SPACES ON STREET
= 98 SPACES TOTAL INCLUDING 6 HANDICAP SPACES

SHARED PARKING

PARKING PROVIDED = 18 SPACES INCLUDING 3 HANDICAP SPACES

COMBINED PARKING

PARKING REQUIRED = 72 SPACES + 100 SPACES = 172 SPACES INCLUDING 8 HANDICAP SPACES
PARKING PROVIDED = 65 SPACES + 98 SPACES + 18 SHARED SPACES = 181 SPACES INCLUDING 16 HANDICAP SPACES

BUILDING ENVELOPE STANDARDS

BUILDING SETBACK: 10 FT. TO 80 FT. FROM ROW
25 FT. MINIMUM REAR LOT LINE SETBACK IF NO ALLEY
PARKING SETBACK: 15 FT. FROM ROW
5 FT. FROM COMMON LOT LINE

A SINGLE DRIVE AISLE SERVING PARKING MAY BE LOCATED BETWEEN BUILDING AND ROW

HEIGHT: 4 STORIES

GROUND STORY FINISHED FLOOR AT OR ABOVE ADJACENT SIDEWALK ELEVATION TO A MAXIMUM OF 18" ABOVE

FLOOR HEIGHT: 9 FT. MINIMUM (80% OF AREA)
12 FT. MAXIMUM

STREET FACADE: BUILDING 60% OF LOT FRONTAGE ON PRIMARY STREET (606.40' X 0.60 = 364')
25% OF LOT FRONTAGE ON SIDE STREET (291.16' X 0.25 = 73')

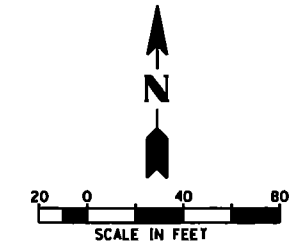
BUILDABLE AREA: MAXIMUM GROUND FLOOR AREA 80,000 SQUARE FEET (GROUND FLOOR = 36,916 SQ. FT.)

DRIVEWAYS: MINIMUM OF 75 FT. FROM BLOCK CORNER

COMMON LOT LINE TREATMENT NEEDED ALONG SOUTH PROPERTY LINE ADJACENT TO R-6 ZONING,
EITHER A GARDEN WALL, 4 TO 6 FEET IN HEIGHT OR TRANSITIONAL BUFFER YARD CONSTRUCTED.

BLANK LENGTHS OF WALL EXCEEDING 20 LINEAR FEET ARE PROHIBITED ON ALL BUILDING FACADES

WINDOWS AND DOORS, GROUND STORY, AT LEAST 40% BUT NOT MORE THAN 90% OF FACADE AREA
UPPER STORIES, AT LEAST 20% BUT NOT MORE THAN 60% OF FACADE AREA



VARIANCES

BUILDING SETBACK: WEST SIDE SETBACK EXCEEDS 80 FT.
PARKING SETBACK: WEST SIDE SETBACK LESS THAN 15 FT. FROM ROW
EAST SIDE SETBACK LESS THAN 5 FT. FROM COMMON LOT LINE

BUILDING FINISHED FLOOR ELEVATION EXCEEDS 18" ABOVE ADJACENT SIDEWALK

STREET FACADE: BUILDING 60% OF LOT FRONTAGE ON PRIMARY STREET NOT MET (FACADE = 302')

COMMON LOT LINE TREATMENT NOT PROVIDED ALONG SOUTH PROPERTY LINE AND R-6 ZONING

THE NORTH AND SOUTH ENDS OF THE EAST AND WEST WINGS HAVE IN EXCESS OF 20 LINEAR FEET OF BLANK WALL

WINDOWS AND DOORS, GROUND STORY, NORTH ELEVATION IS 22% WINDOWS/DOORS
WEST ELEVATION IS 34% WINDOWS/DOORS

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Peoria, Illinois 61602
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CHICAGO, ILLINOIS 60654

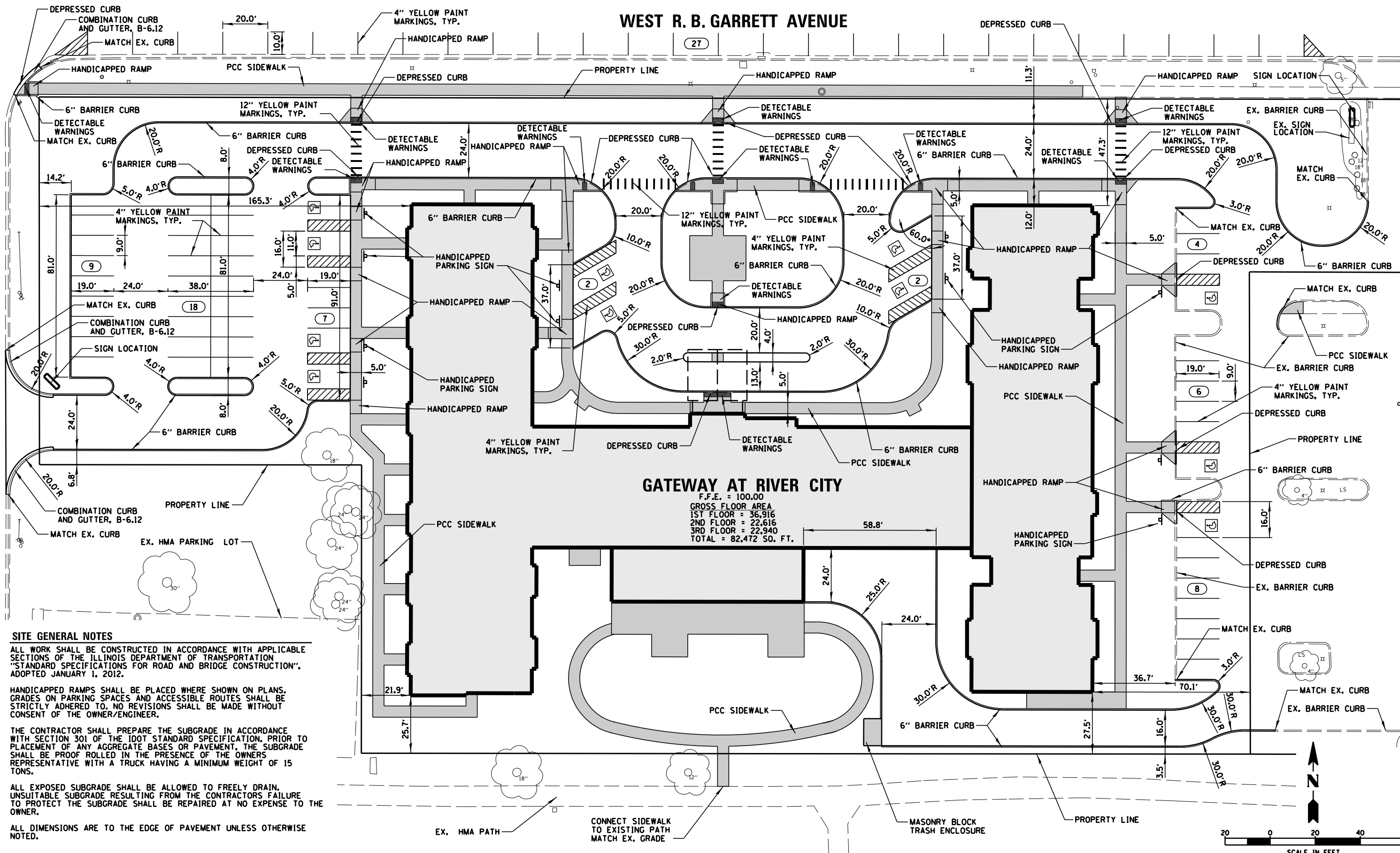
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GATEWAY AT RIVER CITY
518 WEST R.B. GARRETT AVENUE
SPECIAL USE ZONING PLAN

PROJ. NO. 14-0454
DATE: 9/29/2014
SHEET 1 OF 1
DRAWING NO.
SUP-1

WEST R. B. GARRETT AVENUE

N. RICHARD PRYOR PLACE



SITE GENERAL NOTES

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", ADOPTED JANUARY 1, 2012.

HANDICAPPED RAMPS SHALL BE PLACED WHERE SHOWN ON PLANS. GRADES ON PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE STRICTLY ADHERED TO, NO REVISIONS SHALL BE MADE WITHOUT CONSENT OF THE OWNER/ENGINEER.

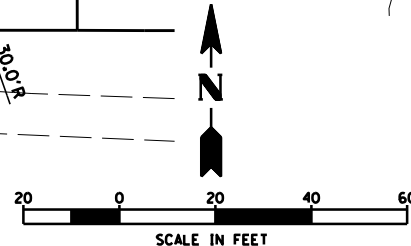
THE CONTRACTOR SHALL PREPARE THE SUBGRADE IN ACCORDANCE WITH SECTION 301 OF THE IDOT STANDARD SPECIFICATION. PRIOR TO PLACEMENT OF ANY AGGREGATE BASES OR PAVEMENT, THE SUBGRADE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE OWNERS REPRESENTATIVE WITH A TRUCK HAVING A MINIMUM WEIGHT OF 15 TONS.

ALL EXPOSED SUBGRADE SHALL BE ALLOWED TO FREELY DRAIN. UNSUITABLE SUBGRADE RESULTING FROM THE CONTRACTORS FAILURE TO PROTECT THE SUBGRADE SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.

ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

GATEWAY AT RIVER CITY

F.F.E. = 100.00
GROSS FLOOR AREA
1ST FLOOR = 36,916
2ND FLOOR = 22,616
3RD FLOOR = 22,940
TOTAL = 82,472 SQ. FT.



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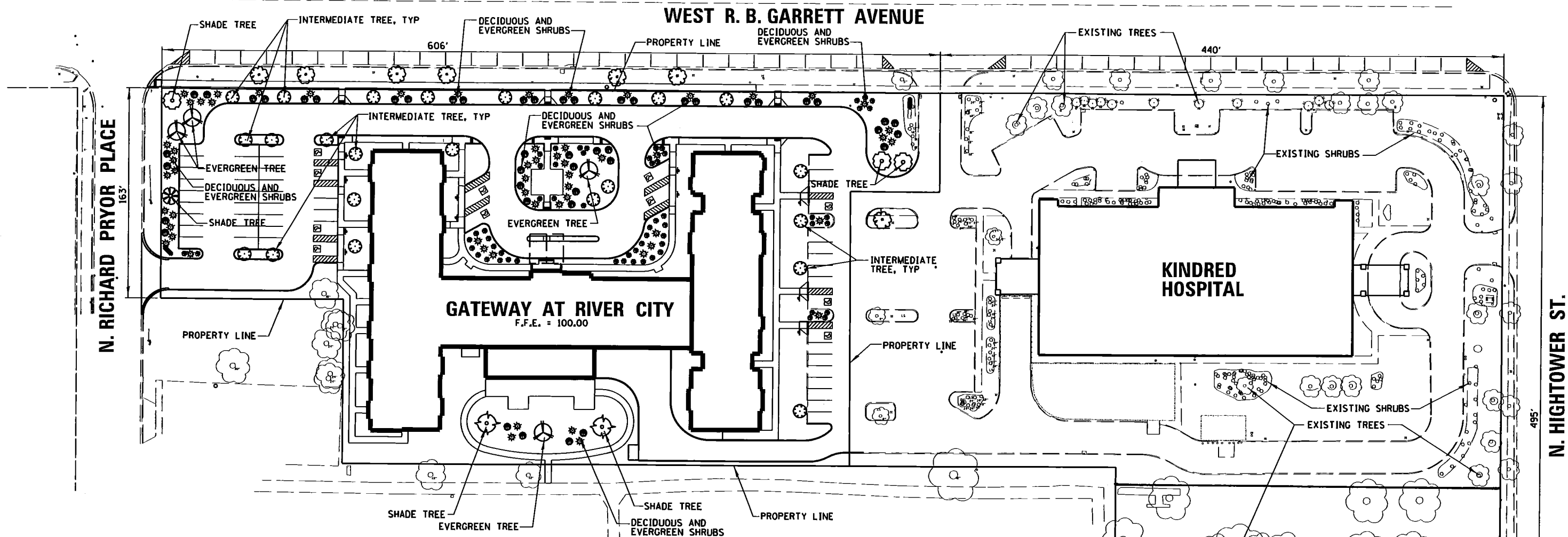
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401 N. FRANKLIN STREET, SUITE 4 SOUTH
CHICAGO, ILLINOIS 60654

Table with columns: NO., DATE, NATURE OF REVISION, CHKD., MODEL.

TITLE:

GATEWAY AT RIVER CITY
518 WEST R.B. GARRETT AVENUE
PROPOSED SITE PLAN

PROJ. NO. 14-0454
DATE: 9/29/2014
SHEET 2 OF 10
DRAWING NO.
PLN-1



LANDSCAPE NOTES

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL BE QUALITY OF PLANTS, INSTALLED, FERTILIZED AND STAKED AS SPECIFIED IN "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED JANUARY 1, 2002.
3. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.
4. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED AS FOLLOWS:
 - A. SEEDING SHALL BE CLASS 1 IN ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS.
 - B. FERTILIZING FOR THE SEEDED AREAS SHALL HAVE A RATION ON 12N-12P-12K AND SHALL BE APPLIED AT THE RATE OF 270 POUNDS PER ACRE.
 - C. MULCH SHALL BE METHOD 1, STATE OF ILLINOIS STANDARD SPECIFICATIONS.
5. SEEDING METHODS SHALL BE ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS USING "BARE EARTH SEEDING" METHODS FOR NEW GRASS AREAS, AND "INTERSEEDING" METHODS FOR OVERSEEDING OF EXISTING GRASS AREAS. BROADCAST SEEDING MAY BE USED FOR BOTH METHODS. (RATES FOR BOTH ARE AS LISTED IN "SEEDING MIXTURES".)
6. ALL NEW LANDSCAPING AREAS, TREES AND SHRUBS SHALL BE MULCHED WITH A LAYER OF SHREDDED HARDWOOD BARK 4 INCHES THICK AFTER SETTLEMENT.

LANDSCAPE DATA

GATEWAY AT RIVER CITY	KINDRED HOSPITAL
R.B. GARRETT AND RICHARD PRYOR PLACE	R.B. GARRETT AND HIGHTOWER FRONTAGE
TOTAL LENGTH = 769'	TOTAL LENGTH = 935'
REQUIRED POINTS = 385	REQUIRED POINTS = 468
(193 PTS TREES / 193 PTS SHRUBS)	(234 PTS TREES / 234 PTS SHRUBS)
PROVIDED POINTS = 693	EXISTING POINTS = 1497
(435 PTS TREES / 255 PTS SHRUBS)	(840 PTS TREES / 657 PTS SHRUBS)
PARKING LOT LANDSCAPING	PARKING LOT LANDSCAPING
TOTAL SPACES = 56	TOTAL SPACES = 80
REQUIRED POINTS = 56	REQUIRED POINTS = 80
PROVIDED POINTS = 60	EXISTING POINTS = 90

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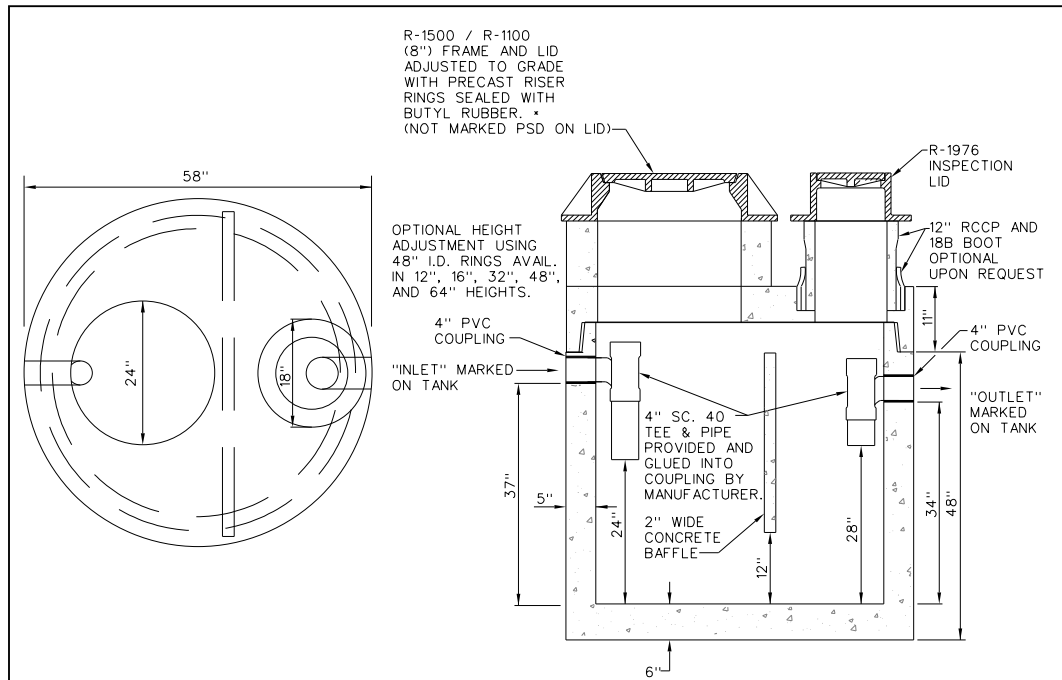
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 CHICAGO, ILLINOIS 60654

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL
FILE NAME	P:\140454\Civil\140454-01.dgn			

TITLE:

GATEWAY AT RIVER CITY
518 WEST R.B. GARRETT AVENUE
LANDSCAPE PLAN

PROJ. NO. 14-0454
 DATE: 9/29/2014
 SHEET 8 OF 10
 DRAWING NO.
LSP-1



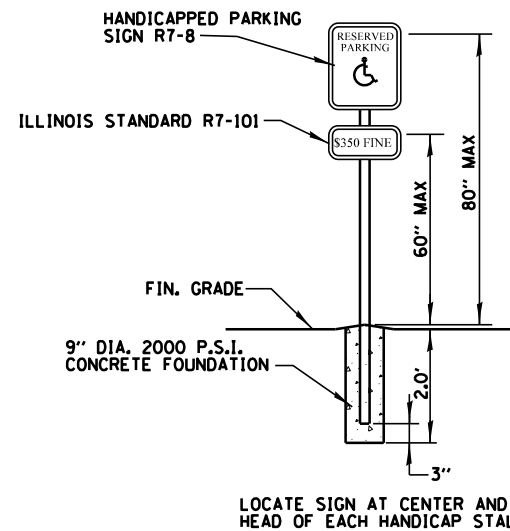
* CASTING AND RISER RING NOT INCLUDED IN GREASE TRAP PRICE.



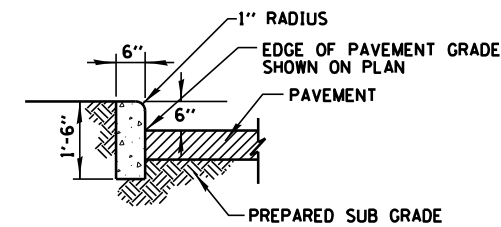
GREATER PEORIA SANITARY DIST.
2322 South Darst Street
Peoria, Illinois 61607-2093
Phone 637-3511 Fax 637-6614

TYPICAL DETAIL 250 GALLON GREASE TRAP		
SURVEYED: .	DATE: MAR. 99	VERT. NTS
DESIGNED: .	REV: .	HORIZ. NTS
DRAWN: DMF	CHECKED: .	PAGE 095-16
APPROVED: .		

AS MANUFACTURED BY
DARNELL CONCRETE PRODUCTS COMPANY

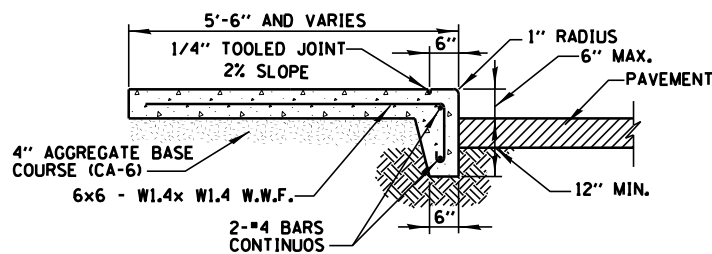


HANDICAPPED PARKING SIGN DETAIL
NOT TO SCALE



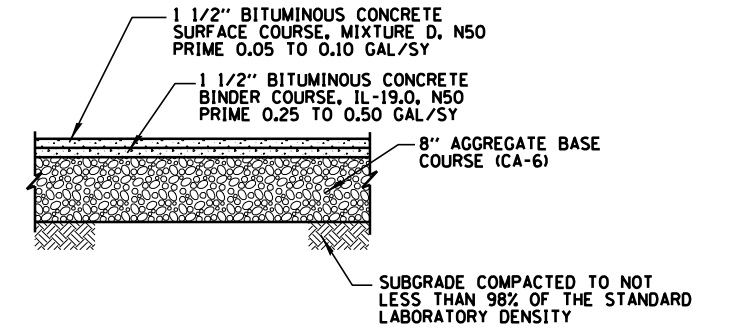
ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT 25.0' O.C. MAX.

6" CONCRETE BARRIER CURB DETAIL
NOT TO SCALE

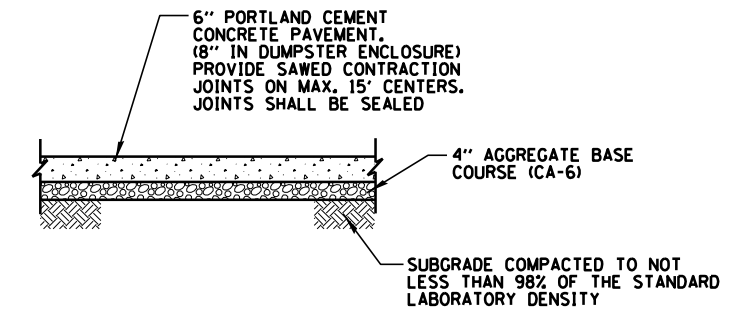


PROVIDE EXPANSION JOINTS AT 25.0' O.C. MAX.
PROVIDE CONTROL JOINTS AT 5.0' O.C. MAX

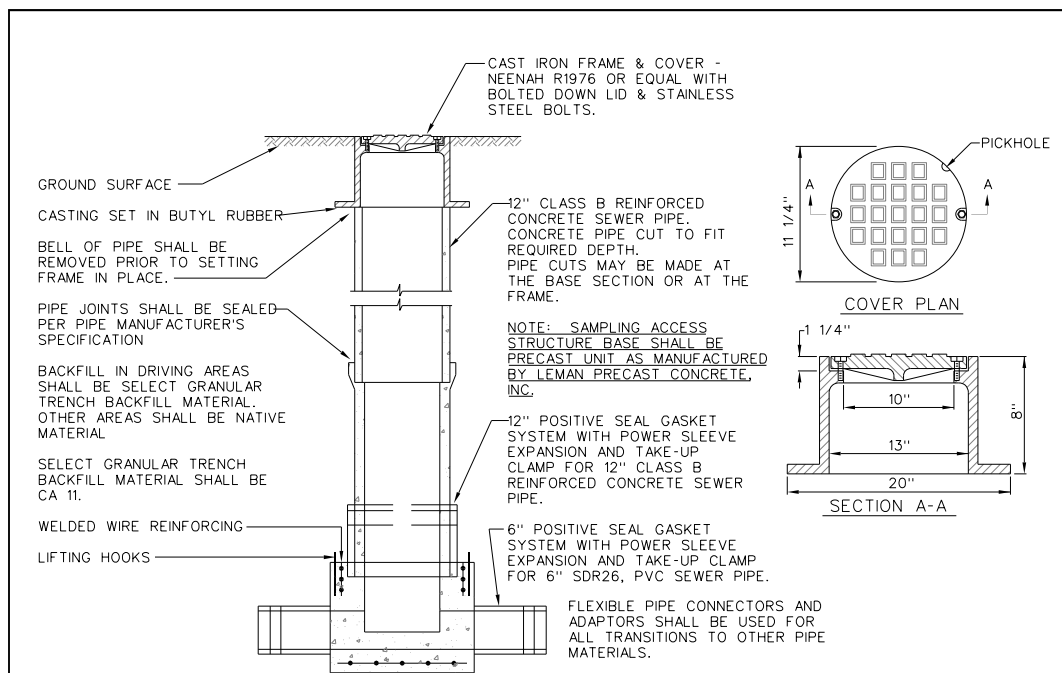
PERIMETER SIDEWALK DETAIL
NOT TO SCALE



BITUMINOUS PAVEMENT DETAIL
NOT TO SCALE



CONCRETE PAVEMENT DETAIL
NOT TO SCALE



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PRECAST SAMPLING ACCESS STRUCTURE		
SURVEYED: .	DATE: NOV. 90	VERT. NTS
DESIGNED: .	REV: .	HORIZ. NTS
DRAWN: DMF	CHECKED: .	PAGE 095-14
APPROVED: .		

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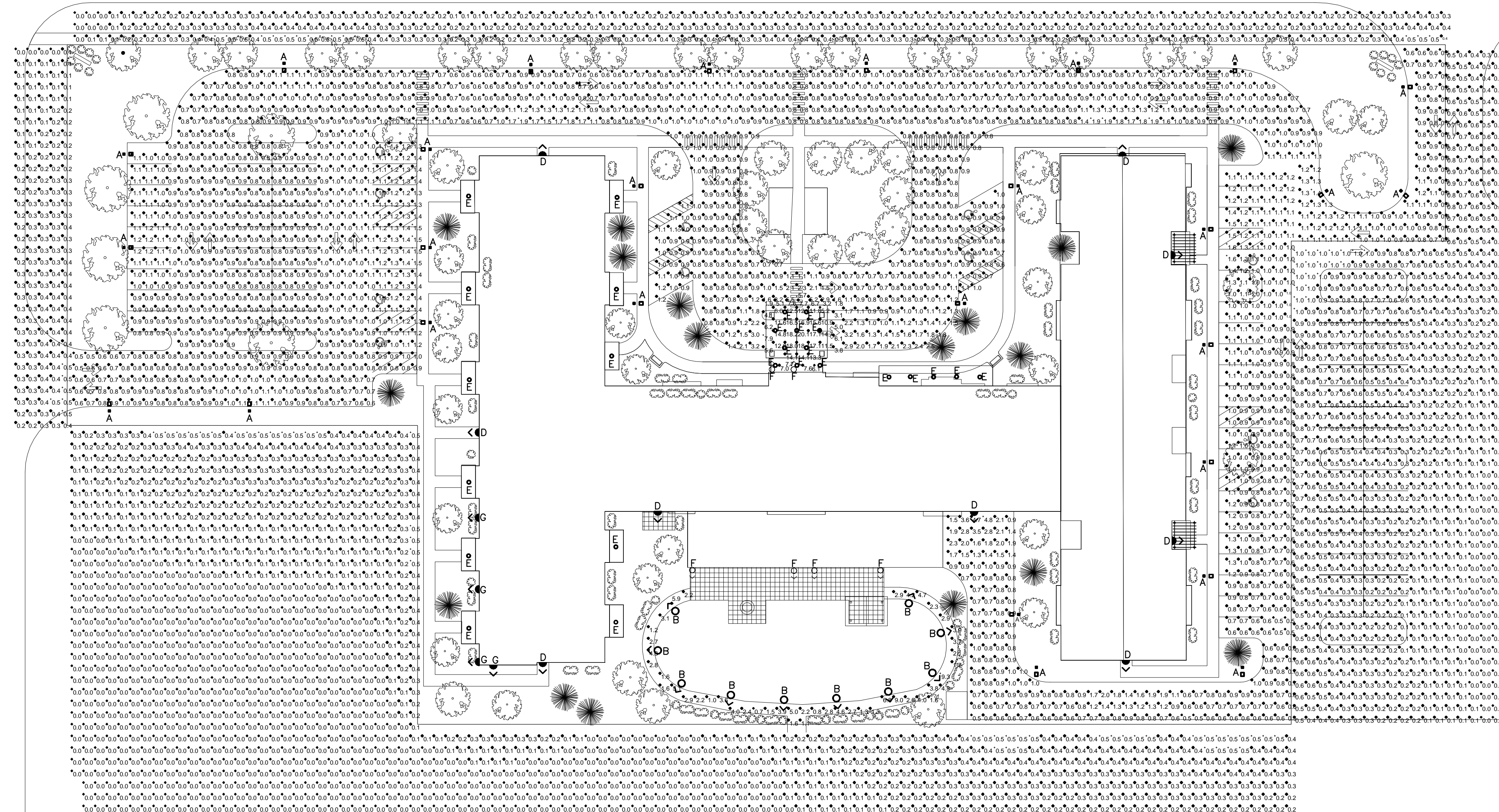
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TITLE:
GATEWAY AT RIVER CITY
518 WEST R.B. GARRETT AVENUE
DETAILS

PROJ. NO. 14-0454
DATE: 9/29/2014
SHEET 9 OF 10
DRAWING NO.
DET-1

R.B. GARRETT AVENUE

RICHARD PRYOR PLACE



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=30'

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Back Delivery Drive	+	1.0 fc	4.8 fc	0.5 fc	9.6:1	2.0:1	0.2:1
Canopy	+	14.0 fc	20.1 fc	5.2 fc	3.9:1	2.7:1	0.7:1
Canopy perimeter	+	5.1 fc	7.9 fc	1.8 fc	4.4:1	2.8:1	0.6:1
East Parking Lot	+	0.9 fc	1.6 fc	0.5 fc	3.2:1	1.8:1	0.6:1
East Property Line	+	0.4 fc	1.0 fc	0.0 fc	N/A	N/A	0.4:1
Entry Drive	+	0.9 fc	1.4 fc	0.5 fc	2.8:1	1.8:1	0.6:1
Front Circle Drive	+	1.1 fc	5.7 fc	0.6 fc	9.5:1	1.8:1	0.2:1
North Drive	+	0.9 fc	1.9 fc	0.6 fc	3.2:1	1.5:1	0.5:1
North Property Line	+	0.3 fc	0.5 fc	0.0 fc	N/A	N/A	0.6:1
South Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A	0.2:1
Walking Path	+	3.1 fc	9.3 fc	0.7 fc	13.3:1	4.4:1	0.3:1
West Parking Lot	+	0.9 fc	1.5 fc	0.5 fc	3.0:1	1.8:1	0.6:1
West Property Line	+	0.3 fc	0.5 fc	0.0 fc	N/A	N/A	0.6:1

Luminaire Schedule												
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	
□	A	27	Lithonia Lighting	DSXO LED 20C 530 40K T4M MVOLT	DSXO LED WITH (1) 20 LED LIGHT ENGINE, TYPE T4M OPTIC, 4000K, @ 530mA	LED	1	DSXO_LED_20C_530_40K_T4M_MVOLT.ies	3695.59	1	35	
△	B	10	Lithonia Lighting	DSXB LED 12C 350 40K ASY	D-SERIES BOLLARD WITH 12 4000K LEDS OPERATED AT 350mA AND ASYMMETRIC DISTRIBUTION	LED	1	DSXB_LED_12C_350_40K_ASY.ies	889.3837	1	16	
△	C	4	Lithonia Lighting	WSQ LED 1 10A700/40K SR4 MVOLT	WSQ LED WITH 1 MODULE, 10 LED'S, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 4 LENS	Outdoor Wall Pack Luminaire to IES LM-79-08 LUMINAIRE OUTPUT: 1950 Lms.	1	WSQ_LED_1_10A700_40K_SR4_MVOLT.ies	1943.403	1	24.2	
△	D	9	Lithonia Lighting	WSQ LED 1 10A700/40K SR4 MVOLT	WSQ LED WITH 1 MODULE, 10 LED'S, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 4-LENS	Outdoor Wall Pack Luminaire to IES LM-79-08 LUMINAIRE OUTPUT: 1950 Lms.	1	WSQ_LED_1_10A700_40K_SR4_MVOLT.ies	1943.403	1	24.2	
○	E	26	Lithonia Lighting	REAL6C D6MW ESL 1500L 35K 95SC	6" REALITY LED RECESSED DOWNLIGHT MODULE WITH 1500 NOMINAL LUMENS, 3500K LEDS, AND 0.95 SPACING CRITERION BEAM	ONE 18-WATT LED	1	REAL6C_D6MW_ESL_1500L_35K_95SC.ies	1520.937	1	18.8	
△	F	6	STERNBERG LIGHTING, INC.	EURO 260LED TYPE III ROUND	CAST AND MACHINED ALUMINIUM HOUSING, FROSTED PLASTIC ENCLOSURE.	26 WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH.	1	E260LEDFA-16ND44T4.IES	1235.306	1	30.1	

GATEWAY AT RIVER CITY
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PEORIA, IL 61605

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SHEET NUMBER: E1.2