



PLANNING & ZONING COMMISSION

TO: City of Peoria Planning & Zoning Commission

FROM: Development Review Board (prepared by Julia Hertaus)

DATE: May 5, 2022

CASE NO: PZ 815-2022

REQUEST: Hold a Public Hearing and forward a recommendation to City Council on the request of Branden Martin, on behalf of property owner Josh Lee, to obtain a Special Use in a Class R-2 (Single-Family Residential) District for a Short Term Rental, for the property located at 1506 W Teton Dr (Parcel Identification No. 18-08-376-001), Peoria IL (Council District 5)

SUMMARY OF PROPOSAL & REQUESTED WAIVERS

The applicant is requesting to obtain a Special Use for a short term rental at 1506 W Teton Dr in an existing single family residence. The intended use is to rent the dwelling to a maximum of 6 overnight guests for a period less than 30 consecutive days. Such use is considered a short term rental and requires special use approval.

The proposal is further described as follows:

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
Use	Single family residential short term rental. The dwelling unit has three bedrooms.	None	Additional dwelling units cannot be added to the structure. The use and property must comply with the Code of the City of Peoria or codes adopted by reference. This includes, but is not limited to property maintenance, building and fire, public nuisance, noise, and alcoholic beverages.
Building & Life Safety	Maximum of 6 overnight guests for the short term rental.	None	The use may not exceed the 2018 IRC Residential Group R-3 occupancy of ten persons. Condition to install fire extinguishers, interconnected smoke alarms, and carbon monoxide detectors.
Parking	Parking is available in the existing garage.	None	None
Neighborhood 3% Cap on the Number of Special Use Short Term Rentals	The property is located within the Willow Knolls Residents and Recreational Association.	None	If approved, this would be the first special use Short Term Rental in this Neighborhood Association. The 3% cap allows up to 4 special use Short Term Rentals within the Association.

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
License	Obtain yearly Short Term Rental License and remit the Room Rental Use or Privilege tax to the City of Peoria.	N/A	Compliance is a condition of maintaining the special use. A special use for a Short Term Rental is only valid for the applicant and does not transfer with the property.

BACKGROUND

Property Characteristics

The subject property is currently developed with a single-family dwelling. The property is in the Class R-2 (Single-Family Residential) District. Surrounding zoning is Class R-2 (Single-Family Residential) in all directions. Surrounding land use is residential.

History

Zoning class has consistently been low density residential.

Date	Zoning
1931-1958	Not in the City
1958-1963	Not in the City
1963 - 1990	R2 (Medium-Density Residential)
1990 - Present	R2 (Single-Family Residential)

DEVELOPMENT REVIEW BOARD ANALYSIS

The DRB examines each application against the appropriate standards found in the Code of the City of Peoria and/or in case law.

Standard	Standard Met per DRB Review	DRB Condition Request & Justification
No detriment to public health, safety, or general welfare	Yes	Condition to install fire extinguishers, smoke alarms, carbon monoxide detectors.
No injury to other property nor diminishment to property values	Yes	None
No impediment to orderly development	Yes	None
Provides adequate facilities	Yes	None
Ingress/Egress measures designed to minimize traffic congestion	Yes	None
If a public use/service, then a public benefit	NA	NA
Conforms to all district regulations	Yes	None
Comprehensive Plan Critical Success Factors	Reinvest in Neighborhoods	Reinvest in the existing dwelling.
City Council Strategic Plan Goals	Attractive Neighborhoods with Character; Safe and Livable	Reinvest in the existing dwelling.

DEVELOPMENT REVIEW BOARD RECOMMENDATION

The Development Review Board recommends approval of the request for a short term rental with the following conditions:

1. Fire extinguishers shall be installed according to the 2018 International Fire Code Chapter 9, Section 906.
2. Interconnected smoke alarms shall be installed according to the 2018 International Fire Code Chapter 9, Section 907.
3. Carbon monoxide detectors shall be installed according to the 2018 International Fire Code Chapter 9, Section 915.2.1.
4. Additional dwelling units cannot be added to the site.
5. The residence shall comply with the 2018 International Building & Fire Codes prior to any occupancy. Inspections shall be required to verify compliance.
6. Occupancy of the short term rental shall not exceed the standards set forth in the Building and Fire Code of six (6) guests.
7. The owner shall obtain and maintain a valid Short Term Rental license from the City of Peoria and the owner shall pay Room Rental Use or Privilege tax to the City of Peoria.
8. An approved Special Use is valid for the Applicant only as identified on the special use application submitted to the Planning & Zoning Commission. An approved Special Use shall become null and void upon any change in ownership of the property which results in the removal of all prior applicants. Such change in ownership of the property will require a new special use application and approval.

NOTE: If a City Code Requirement is not listed as a waiver, then it is a required component of the development. The applicant is responsible for meeting all applicable code requirements through all phases of the development.

ATTACHMENTS

1. Surrounding Zoning
2. Aerial Image
3. Applicant's Description of Use
4. Parking Site Plan
5. Photos – Existing Conditions
6. Public Comment

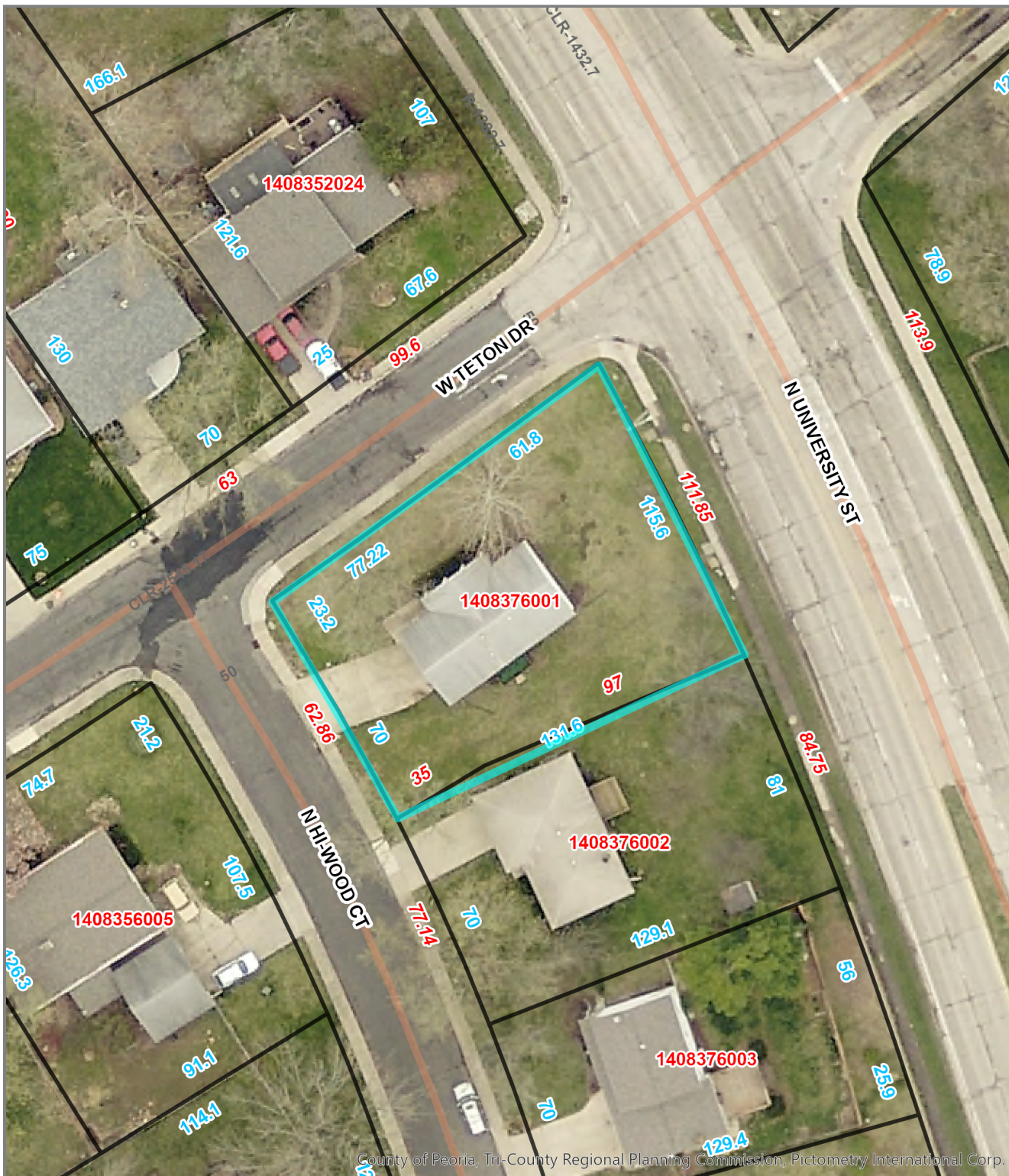
1506 W Teton Dr Aerial + Zoning



Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. - Peoria County GIS Division

Map Scale
1 inch = 50 feet
4/27/2022

1506 W Teton Dr Aerial



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Attached below is information for a Short Term Rental application for the property located at 1506 W Teton Dr, Peoria IL 61614.

My name is Josh Lee and I moved to the Peoria area in 2019 from the Chicago area, utilizing short term rentals, and loved the area. I decided to purchase in 2020 to take a job as Co-Lead Pastor at Imago Dei Church at the corner of University and Gale. Once I closed and move into this beautifully remodeled home I immediately opened up my lower level to guests on the Air BnB platform. I have had an incredible experience meeting lots of new people and welcoming them to the Peoria area (many for the first time). I had registered the property properly while living in the home, but in mid 2021 I was offered an opportunity that I could not pass on. I was offered a position as Co-Pastor at Forefront Church in Brooklyn, NY. My fiancé and I decided this was the right decision and decided to go for it. We then decided we would keep the property and place the entire property on Air BnB. We thought this was the best decision as my fiancé works for Caterpillar remotely and we have to come back to Peoria 4-6 weeks a year for meetings and such. We currently yield a 4.9+ review rating with over (150) stays. I have contracts w several companies to ensure the property is kept in tip top shape. My house rules are very strict. Absolutely NO PARTIES! NO more than (6) guests. Myself and the co-host keep a close eye on all the RING exterior cameras (4) to ensure our guest abide by the rules. If you have any questions or concerns feel free to reach out anytime.

Josh Lee
Owner/Host
224-856-8543

Branden Martin
Co-Host
309-208-4846

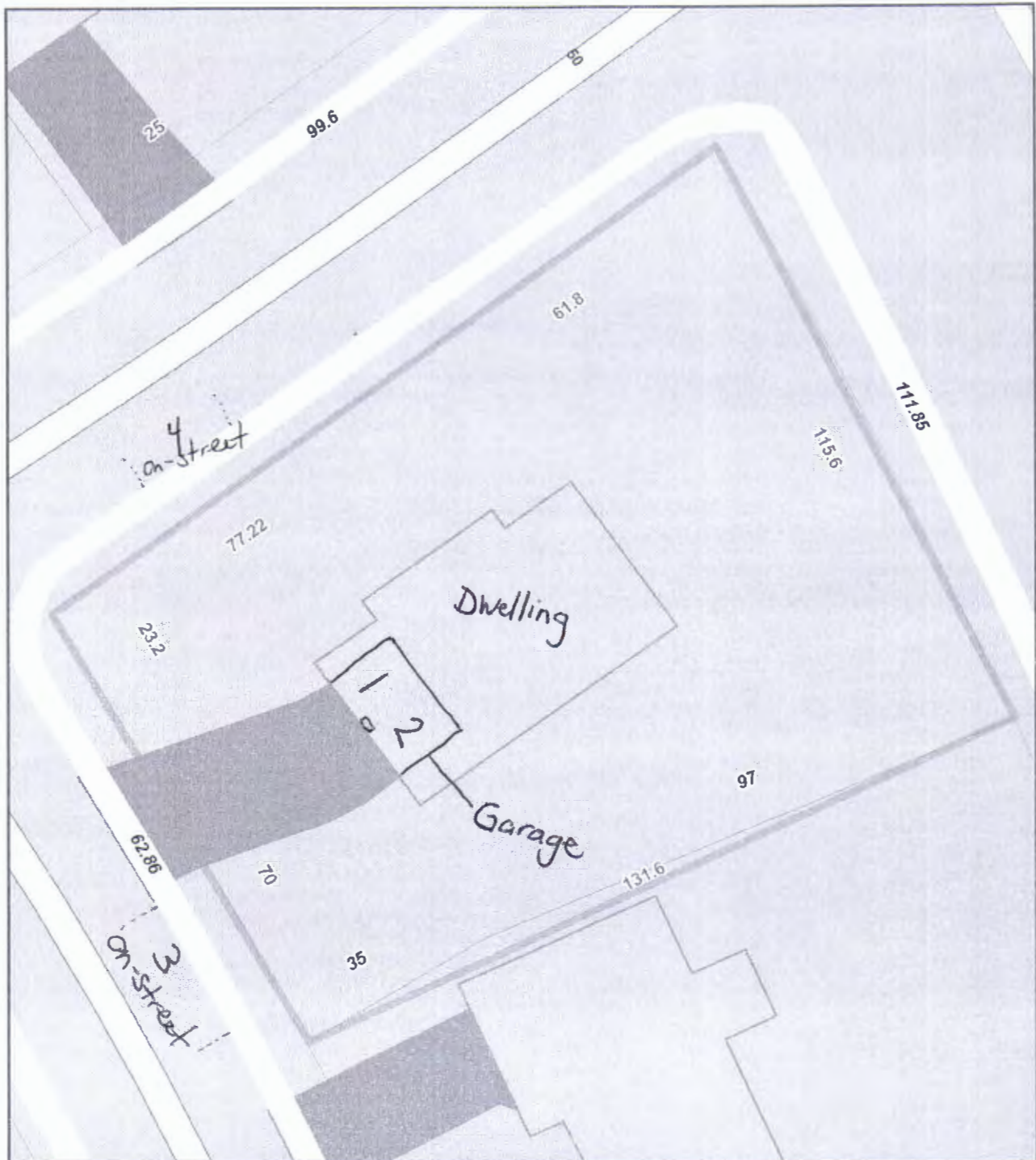
Bedroom #1 16' x 12'
Bedroom #2 14' x 10'
Bedroom #3 12' x 10'

Parcel ID: 1408376001
Lot 67 in WILLOW KNOLLS SECTION THREE (EXCEPTING THEREFROM that part conveyed to Richwoods Developers, Inc. and described in the Deed recorded August 11, 1966 as Document NO 66-12898), a Subdivision of part of the Southwest Quarter of Section 8, Township 9 North, Range 8 East of the Fourth Principal Meridian, according to the plat thereof recorded on June 1, 1964, as Document No 64-7367, in Peoria County, Illinois.

Additional Legal Description:

WILLOW KNOLLS SEC 3 SW 1/4 SEC 8-9N-8E LOT 67 (EXC BEG SW COR THEREOF: TH NLY ALG W LN LOT 67 7.14' ELY 35' E 97' TO PT ON E LN LOT 67 3.75' N OF SE COR LOT 67 SLY 3.75' TO SE COR LOT 67 WLY 131.6' TO POB (-002))

1506 W Teton Drive



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Peoria County GIS Division

2 off-street parking spaces
2 on-street parking spaces

Map Scale
1 inch = 25 feet
4/6/2022

Submitted by Applicant – Existing Conditions



Submitted by Applicant – Existing Conditions



Submitted by Applicant – Existing Conditions



From: [Emily Keefner-Shilevinatz](#)
To: [Julia Hertaus](#)
Subject: [External]Short-term rental concerns, Teton
Date: Wednesday, April 20, 2022 2:08:27 PM

My name is Emily Keefner and my family lives two doors down from this short-term rental applicant. I have several concerns regarding this property being allowed to rent on a short-term basis. Starting with the owner/agent not being present while renters are there. Per AirBnB.com he is the agent, and he lives in New York. Does he have any idea what is going on at the property? For a short period of time he said he lived at the property, I believe it was only for a few months. He has not lived at this residence since October. This is a family-oriented neighborhood with kids all around. I am uncomfortable with strangers constantly in and out, which is multiple times a week. The school bus stop is on the corner in front of this property. Would any of you be comfortable with your child waiting for the bus there? I can't imagine the screening process is that thorough. More than not, the "guests" park multiple vehicles on the street. They park on Hi-Wood, 2 feet from the intersection, making it difficult to turn onto Teton. When they park on Teton, they block the turn lane and cause even more safety concerns at Teton and University. This is unsafe for all neighbors involved. Please let my concerns be known since I cannot attend the hearing. Thank you.

Thank you,
Emily Keefner

From: [Stephanie Fisher](#)
To: [Julia Hertaus](#)
Subject: [External]Short term rental concerns Teton
Date: Wednesday, April 20, 2022 10:38:25 AM

I have concerns about the short term rentals for a home in my neighborhood. Our neighborhood is kid friendly and there is a bus stop near the house. It is concerning to have different tenants in and out of that house. There is a hearing coming up and I am unable to attend. I wanted to make sure and get my concerns known.

Thank you, Stephanie Fisher

Sent from my T-Mobile 5G Device

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From: [JoElyn Holmes](#)
To: [Julia Hertaus](#)
Subject: [External]short term rental concerns, Teton
Date: Friday, April 22, 2022 1:56:17 PM

Good afternoon,

I live in the WKRRRA neighborhood and have some concerns about the short term rental on Teton. There is a safety concern with parking and the blocking of the turn lane on to University as well as the bus stop right there with the potential for alot of turnover. This is a tight knit neighborhood with the benefit of a park, pool, and playground that we maintain and do not want random strangers using. Thank you for allowing me to voice my concerns and I hope you take them into consideration and not allow this property to remain a short term rental.

Sincerely,
JoElyn Holmes

From: [gary steiner](#)
To: [Julia Hertaus](#)
Subject: [External]Public Hearing Notice Parcel ID No. 14-08-376-001 Peoria IL(District 5)
Date: Wednesday, April 27, 2022 12:01:56 PM

My only complaint is that it sets a precedent if one is allowed, there will be more. Our neighborhood is already Zoned R-2. I have no doubt that Josh Lee will keep the area nice. I haven't noticed any problems. He lives far away, but even with a property manager, things can happen. We do not need our property to decrease in value. For some of us, we will need these funds for care.

Please consider these concerns when you make your recommendation!

Sincerely,
Mary C. Steiner