



# PLANNING & ZONING COMMISSION

**TO:** City of Peoria Planning & Zoning Commission

**FROM:** Development Review Board

**DATE:** March 3, 2016

**CASE NO:** PZ 17-07

**REQUEST:** Hold a Public Hearing and forward a recommendation to City Council on the request of Kim Green for Bradley University to amend an Official Development Plan for Bradley University, Ordinance No. 13,361, as amended, to demolish Jobst and Baker Halls and add a new building along W Main Street on the parcel located at 1500 W Main Street (PIN 18-05-376-001), in a Class N-1 (Institutional) District, for the property commonly known as Bradley University and primarily bounded by Main St., the alley east of Cooper St., Bradley Ave., Fredonia Ave., Duryea Pl., St. James Street, University Street, Bourland Ave., Windom St., and Garfield Ave., Peoria, Illinois (Council District 2).

## SUMMARY OF PROPOSAL & REQUESTED WAIVERS

The petitioner is requesting to amend the Bradley University Official Development Plan to allow for the demolition of Jobst Hall and Baker Hall and new construction of a proposed Business and Engineering Complex (the new home for the Foster College of Business and the Caterpillar College of Engineering), also referred to as the Convergence Center. The construction duration is estimated to be four years, including two primary phases of construction, and resulting in a new 270,000 square foot, 5 story (4 stories above ground and 1 below ground) building, proposed to contain the following elements:

- ❖ 193 Offices
- ❖ 25 Classrooms
- ❖ 8 Computer Labs
- ❖ 46 Specialized Labs

A Neighborhood Meeting was held, January 19, 2017 and an interactive website, where the community can submit questions and comments, has been established to further engage the public.

The proposed project is further described as follows:

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
Setback	As shown on the site plan.	N/A	The proposed building meets the required 25 foot front yard setback.
Parking	Nineteen (19) parking spaces are proposed to the west: nine (9) parking spaces will remain along Haussler Lane and 10 will be located in the west engineering yard.	N/A	Show existing and proposed on-street parking on the site plan. Proposed changes to on-street parking shall be in compliance with Ordinance Section 28-246 and are subject to Public Works review and approval.
Disabled Parking	An accessible space has been included along the east side of Haussler Lane to	N/A	Accessible parking must meet City Code and ADA requirements.

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
	serve the Phase 2 building entrance. After completion of Phase 2 there will be a total of 25 parking spaces along Haussler Lane. Of these, there will be a total of 3 accessible spaces provided (one on the east side and 2 on the west side).		
Access	As shown on the plans.	N/A	<p>Ensure proper turning radius for Fire Department vehicles.</p> <p>Road width and access must meet Fire Department requirements and be approved by the Fire Department prior to the issuance of permits.</p>
Sidewalks	<p>All sidewalks fronting the Phase 1 and Phase 2 project will include upgrading sidewalks and curb ramps meeting current ADA codes.</p> <p>Redesign of the sidewalk along Main St. is in process, eliminating the need for a permanent pedestrian easement.</p>	N/A	<p>Replace deteriorated and non-ADA-compliant walks, curbs and curb ramps along property frontage.</p> <p>Public Works is agreeable to constructing the sidewalk along Main Street on private property. If the sidewalk is constructed on private property, a permanent easement and exhibit plat, granting easement rights to the City for pedestrians, is required for City approval and shall be recorded by the Applicant.</p>
Storm Water Management	A meeting between Bradley and Public Works is scheduled to discuss options.	N/A	Permanent storm water controls are required for the project and must be approved by Public Works prior to the issuances of permits.
Mechanical & Utility Screening	N/A	N/A	All existing and proposed mechanical equipment, utilities, and refuse areas must be screened per Unified Development Code requirements.
Landscaping	15 shade trees (300 points) are proposed in the Main Street parkway/terrace planters. Additional planting is proposed	A waiver is requested to allow the height of the required	The Development Review Board does not object to the requested waiver to increase the height of the parking lot perimeter wall.

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
	<p>surrounding the building and screening the west engineering yard.</p> <p>5 shade trees (100 points) are proposed within the parking landscape islands along Haussler Lane.</p> <p>A 14 foot tall wall is proposed along W Main Street on the west side of the new building to screen the parking area from view along W. Main Street.</p>	<p>parking lot perimeter wall to increase from the maximum allowed height of 3 feet, up to the proposed height of 14 feet.</p>	
Signs	<p>Bradley will submit sign details at a later date, as a separate building permit.</p>	<p>N/A</p>	<p>All proposed signs must meet Unified Development Code requirements and require a separate application for a building permit.</p>
Exterior Lighting	<p>All exterior light fixtures, site and wall mounted will be full cut-off directed toward the ground. They are the campus standard that has been used many times prior to the Convergence Center. Fixtures will be dark sky, full-cut off type aimed to keep lighting aimed toward BU owned properties and the roads which BU is responsible for lighting. Only accent lighting will be aimed upward to highlight landscape elements. Nothing will be directed at neighboring properties.</p>	<p>N/A</p>	<p>Exterior lighting may not exceed ½ footcandle, as measured at the property line. A photometric lighting plan is required prior to the issuance of permits.</p>
Height	<p>5 story (4 stories above ground and 1 below ground) building</p>	<p>N/A</p>	<p>Proposed building height meets Unified Development Code requirements.</p>
Materials	<p>Limestone is proposed on the lower levels and Terra Cotta insulated metal wall panels are proposed on the upper floors.</p>	<p>N/A</p>	<p>None</p>
Fire Department Requirements		<p>N/A</p>	<p>There likely will be a need for bi- directional amplifier (bda) coverage in the building. This is required to ensure the portable radios used by Fire and Police are able to communicate within the building and to others outside</p>

Development Item	Applicant Proposal	Applicant Waiver Request & Justification	DRB Comment
			<p>of the building. This is referenced in the International Fire Code 2006 Chapter 9 (Chapter 5 in IFC 2012 gives comprehensive particulars) and NFPA Standard 72. This must be approved by the Fire Department prior to the issuance of permits.</p> <p>Fire Department Connection (FDC) for the sprinkler system must be within 100 feet of a fire hydrant. FDC must be approved by the Fire Department prior to the issuance of permits.</p>

**GENERAL REQUIREMENTS AS NOTED BY THE DEVELOPMENT REVIEW BOARD**

1. Construction access from Main Street will be allowed, providing provisions for accessible pedestrian flow along the south side of Main is maintained throughout construction (except for very brief periods).
2. If a full closure of Main Street is required for short term construction needs (for example, to bring in and assemble a crane), a detour and signage plan as well as a public notification plan, shall be submitted to Public Works for review and approval.
3. Permanent storm water controls are required per the City’s revised Erosion, Sediment and Storm water Control Ordinance. Since phased construction is proposed, you may consider submitting a bond for the permanent storm water retention/detention storage and permanent erosion control measures in lieu of an interim storm water retention/detention system.
4. Right of Way usage permits are required as listed below. You may consider requesting/negotiating a ROW usage permit fee for the entire project or for a project phase, instead of individual ROW use permits:
  - a. Sidewalk/Drive Approach Permit
  - b. Excavation Permit (for utility connections; flowable fill is required for any excavations within two feet of pavement, curb and gutter and/or sidewalk)
  - c. Erosion, Sediment and Storm Water Control Permit
  - d. Lane/Road/Sidewalk/Alley Closure Additional permits may be required:
  - e. General ROW Use permit
  - f. An NPDES construction permit from the Illinois EPA may be required for this project.

**BACKGROUND**

**Property Characteristics**

The Bradley Official Development Plan area contains approximately 84 acres of land. The property is zoned N-1 (Institutional) District and is surrounded by R-4 (Single-Family Residential) to the south, west and north, and R-4 (Single-Family Residential) and W-M (West Main Form ) District to the east.

**History**

The Bradley Official Development Plan was adopted in 1992 and was later amended in 1995, 2007, and 2008.

**DEVELOPMENT REVIEW BOARD ANALYSIS**

**The DRB examines each application against the appropriate standards found in the Code of the City of Peoria and/or in case law.**



Standard	Standard Met per SPRB Review	SPRB Condition Request & Justification
No detriment to public health, safety, or general welfare	Yes	N/A
No injury to other property or diminish property values	Yes	N/A
No impediment to orderly development	Yes	N/A
Provides adequate facilities	Yes	N/A
Ingress/Egress measures designed to minimize traffic congestion	Yes	N/A
Adherence to the comprehensive plan	Yes	N/A
If a public use/service, then a public benefit	Yes	N/A
Conforms to all district regulations	Yes, apart from requested waivers.	A waiver is requested to increase the height of the parking perimeter wall from 3 feet to 14 feet along W Main Street.
Comprehensive Plan Critical Success Factors	Grow employers and jobs. Reinvest in neighborhoods.	N/A
City Council Strategic Plan Goals	Grow Peoria business, jobs, and population. Attractive neighborhoods with character; safe and livable.	N/A

### **DEVELOPMENT REVIEW BOARD RECOMMENDATION**

The Development Review Board recommends approval of the request with the following waivers and conditions:

1. A waiver to increase the maximum allowed height of the parking perimeter wall from 3 feet to 14 feet.
2. Show existing and proposed on-street parking on the site plan. Proposed changes to on-street parking shall be in compliance with Ordinance Section 28-246 and are subject to Public Works review and approval.
3. Accessible parking must meet City Code and ADA requirements.
4. Ensure proper turning radius for Fire Department vehicles.
5. Road width and access must meet Fire Department requirements and be approved by the Fire Department prior to the issuance of permits.
6. Replace deteriorated and non-ADA-compliant walks, curbs and curb ramps along property frontage.
7. Public Works is agreeable to constructing the sidewalk along Main Street on private property. If the sidewalk is constructed on private property, a permanent easement and exhibit plat, granting easement rights to the City for pedestrians, is required for City approval and shall be recorded by the Applicant.
8. Permanent storm water controls are required for the project and must be approved by Public Works prior to the issuances of permits.
9. All existing and proposed mechanical equipment, utilities, and refuse areas must be screened per Unified Development Code requirements.
10. All proposed signs must meet Unified Development Code requirements and require a separate application for a building permit.
11. Exterior lighting may not exceed ½ footcandle, as measured at the property line. A photometric lighting plan is required prior to the issuance of permits.
12. There likely will be a need for bi-directional amplifier (bda) coverage in the building. This is required to ensure the portable radios used by Fire and Police are able to communicate within the building and to others outside of the building. This is referenced in the International Fire Code 2006 Chapter 9 (Chapter 5 in IFC 2012 gives

comprehensive particulars) and NFPA Standard 72. This must be approved by the Fire Department prior to the issuance of permits.

13. Fire Department Connection (FDC) for the sprinkler system must be within 100 feet of a fire hydrant. FDC must be approved by the Fire Department prior to the issuance of permits

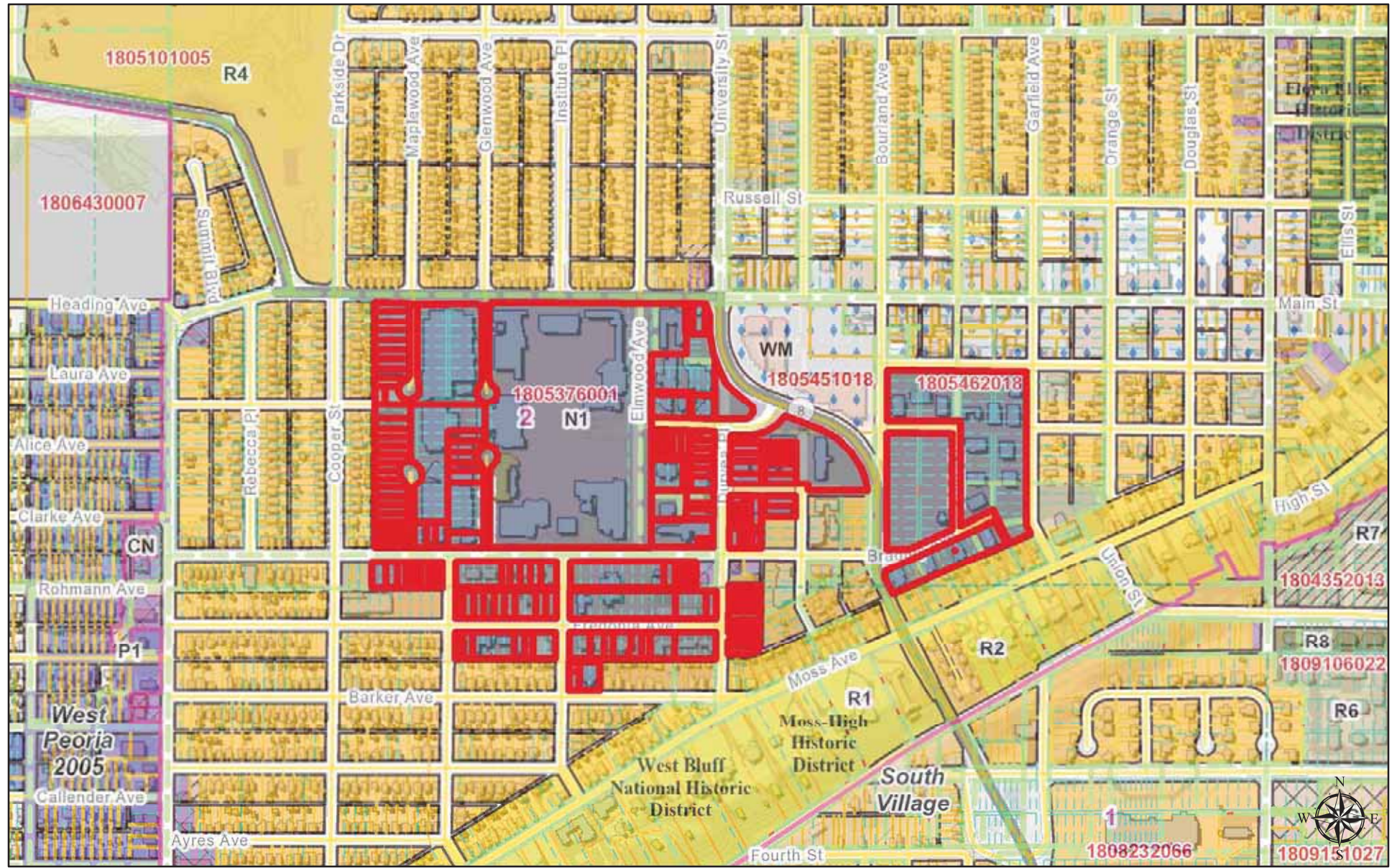
**NOTE:** If a City Code Requirement is not listed as a waiver, then it is a required component of the development. The applicant is responsible for meeting all applicable code requirements through all phases of the development.

#### **ATTACHMENTS**

1. Surrounding Zoning
2. Aerial Photo
3. Site Plan
4. Landscaping Plan
5. Elevations and/or Renderings
6. Photos
7. Statements (if applicable)
  - a. Economic Statement
  - b. Environmental Statement
  - c. Public Services Statement
  - d. Other (traffic studies, etc.)

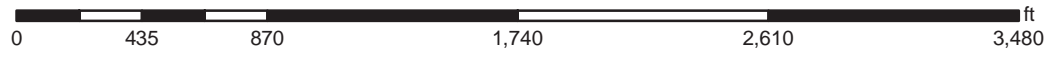


# Bradley University Surrounding Zoning



Peoria County, IL, HERE, USGS

1 inch = 667 feet

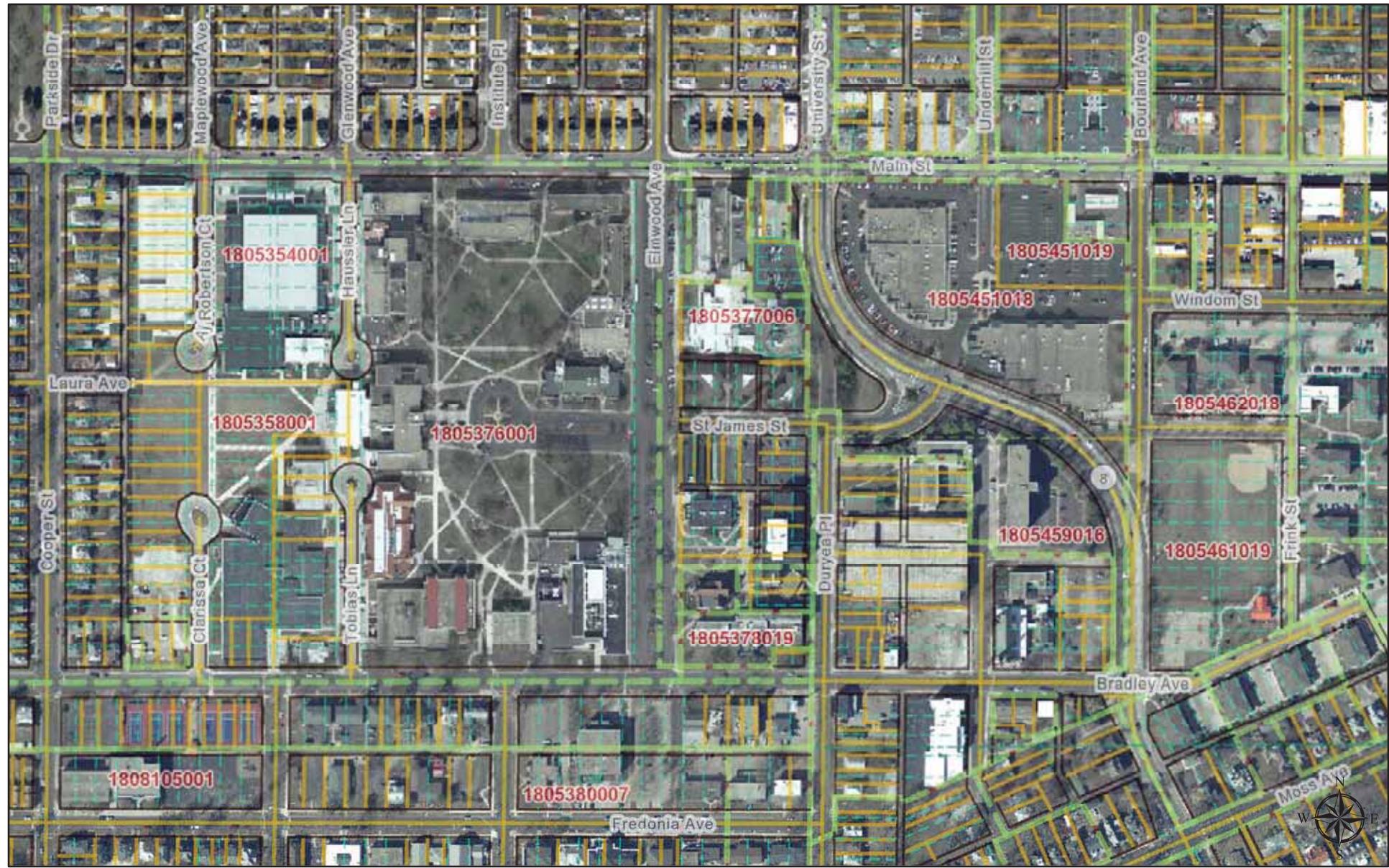


Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. -Peoria County GIS Division





# Bradley University Aerial Photo



Peoria County, IL, HERE, USGS

1 inch = 333 feet



Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. -Peoria County GIS Division







# LEGEND

- EXISTING BUILDING
- DEMOLISHED BUILDING
- NEW BUILDING

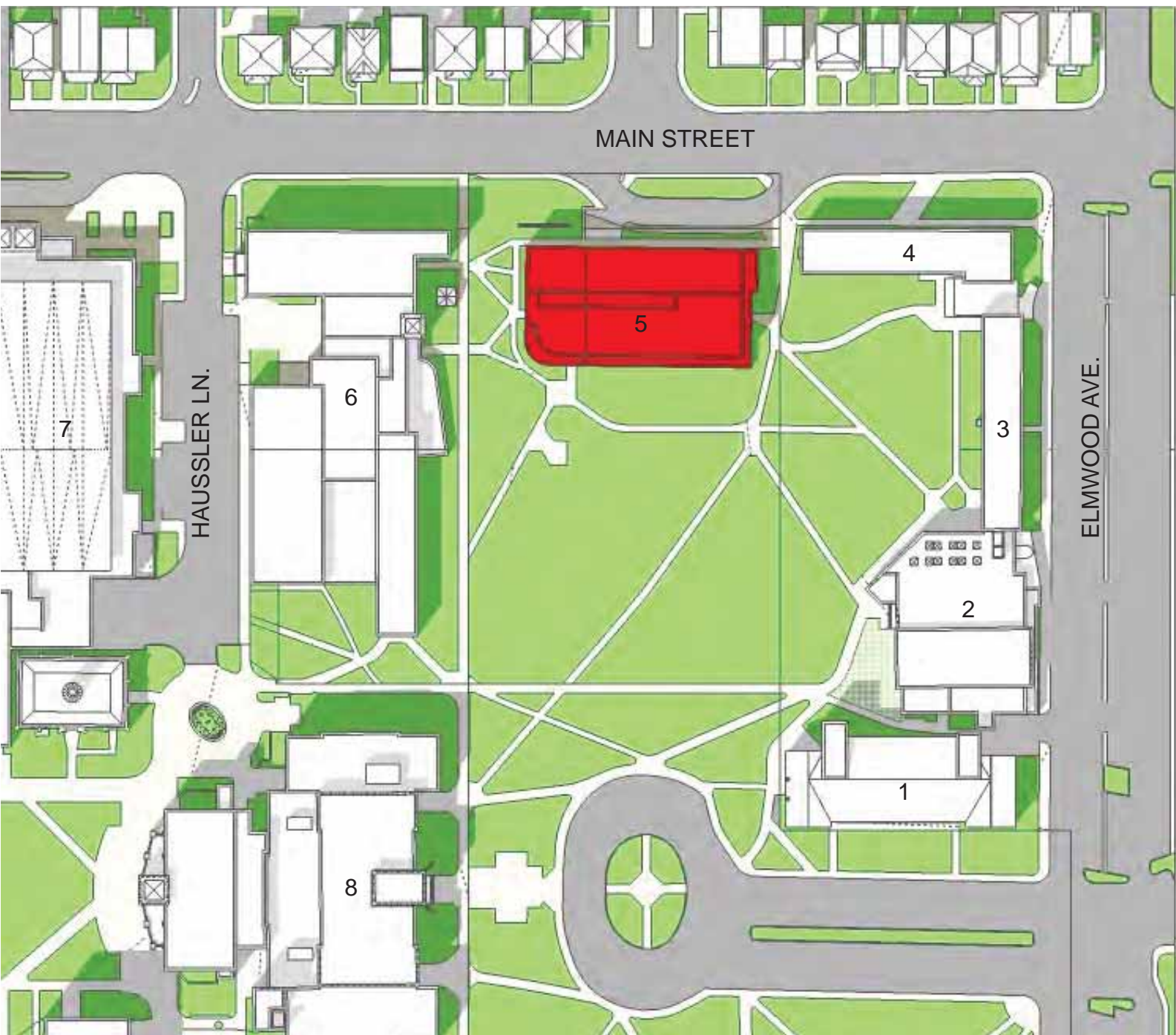
# LEGEND

1. HARTMANN CENTER
2. MICHEL STUDENT CENTER
3. SISSON HALL
4. BURGESS HALL
5. BAKER HALL
6. JOBST HALL
7. RENAISSANCE COLISEUM
8. BRADLEY HALL

## INSTITUTIONAL PLAN AMENDMENT

BUSINESS & ENGINEERING  
EXISTING  
1-3-17





# LEGEND

- EXISTING BUILDING
- DEMOLISHED BUILDING
- NEW BUILDING

# LEGEND

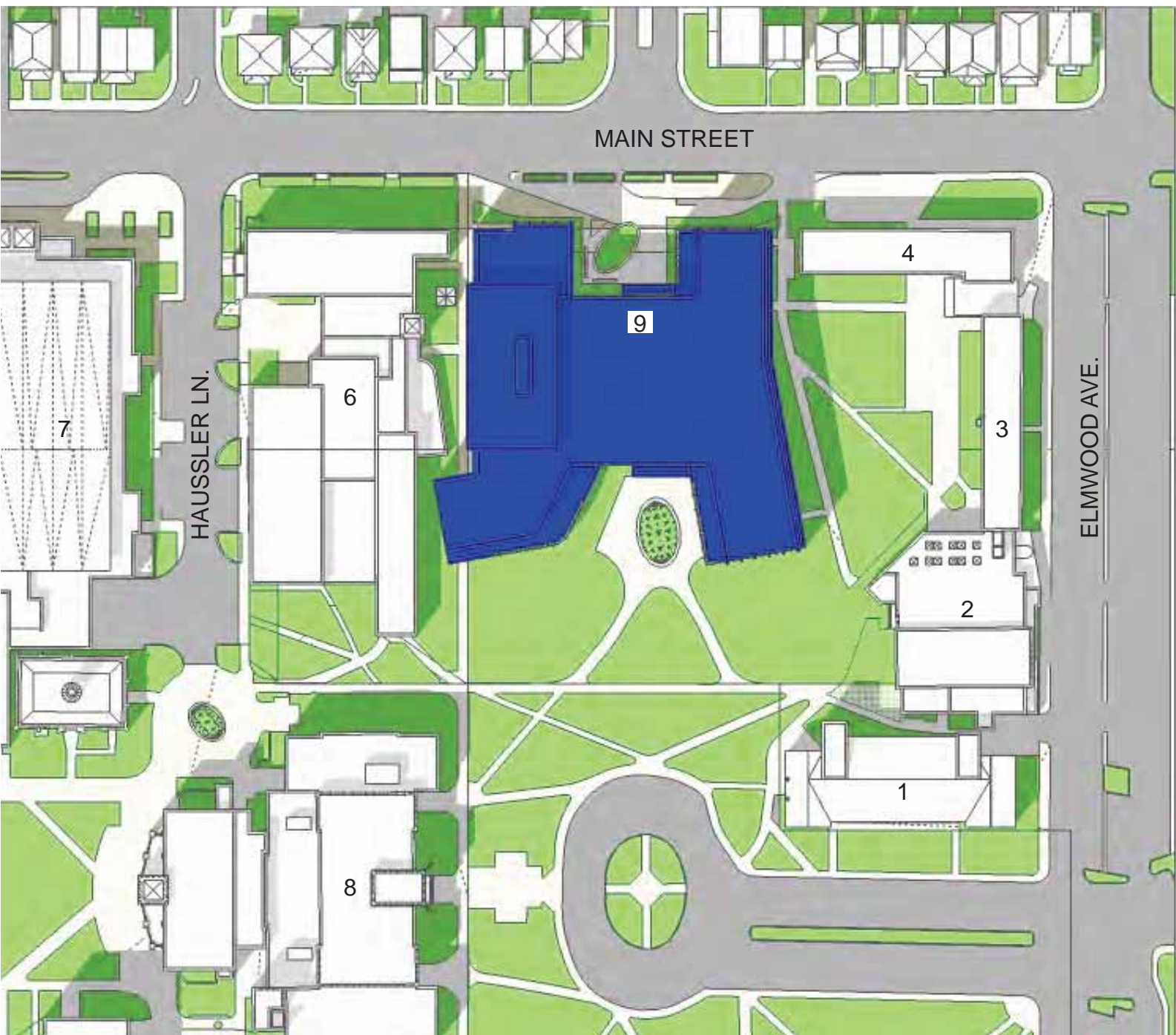
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2. MICHEL STUDENT CENTER
3. SISSON HALL
4. BURGESS HALL
5. BAKER HALL
6. JOBST HALL
7. RENAISSANCE COLISEUM
8. BRADLEY HALL

INSTITUTIONAL PLAN  
AMENDMENT

BUSINESS & ENGINEERING  
DEMOLISH BAKER  
1-3-17







# LEGEND

- EXISTING BUILDING
- DEMOLISHED BUILDING
- NEW BUILDING

# LEGEND

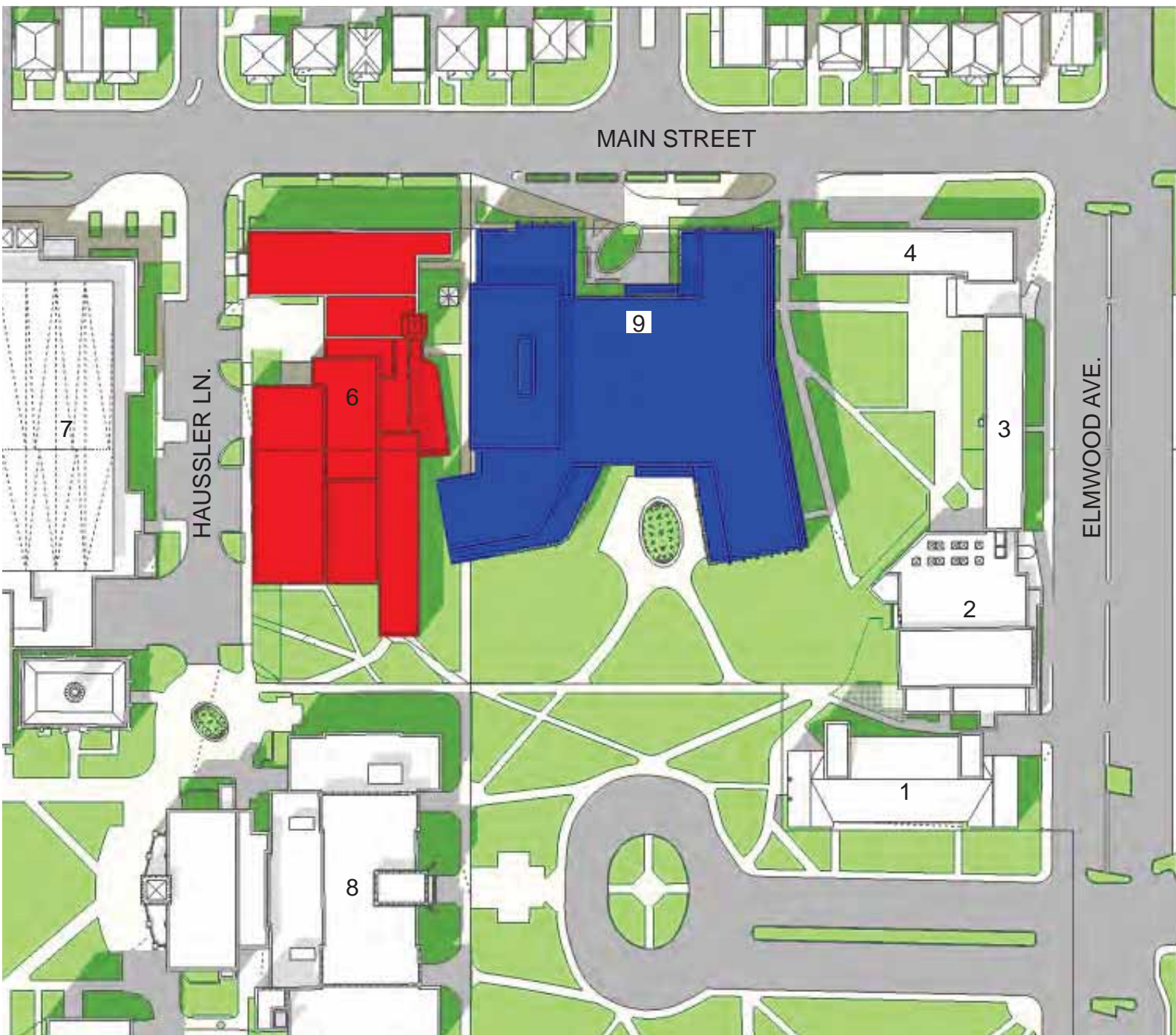
1. HARTMANN CENTER
2. MICHEL STUDENT CENTER
3. SISSON HALL
4. BURGESS HALL
6. JOBST HALL
7. RENAISSANCE COLISEUM
8. BRADLEY HALL
9. BUSINESS & ENG. PH. 1

## INSTITUTIONAL PLAN AMENDMENT

## BUSINESS & ENGINEERING PHASE 1 1-3-17







# LEGEND

- EXISTING BUILDING
- DEMOLISHED BUILDING
- NEW BUILDING

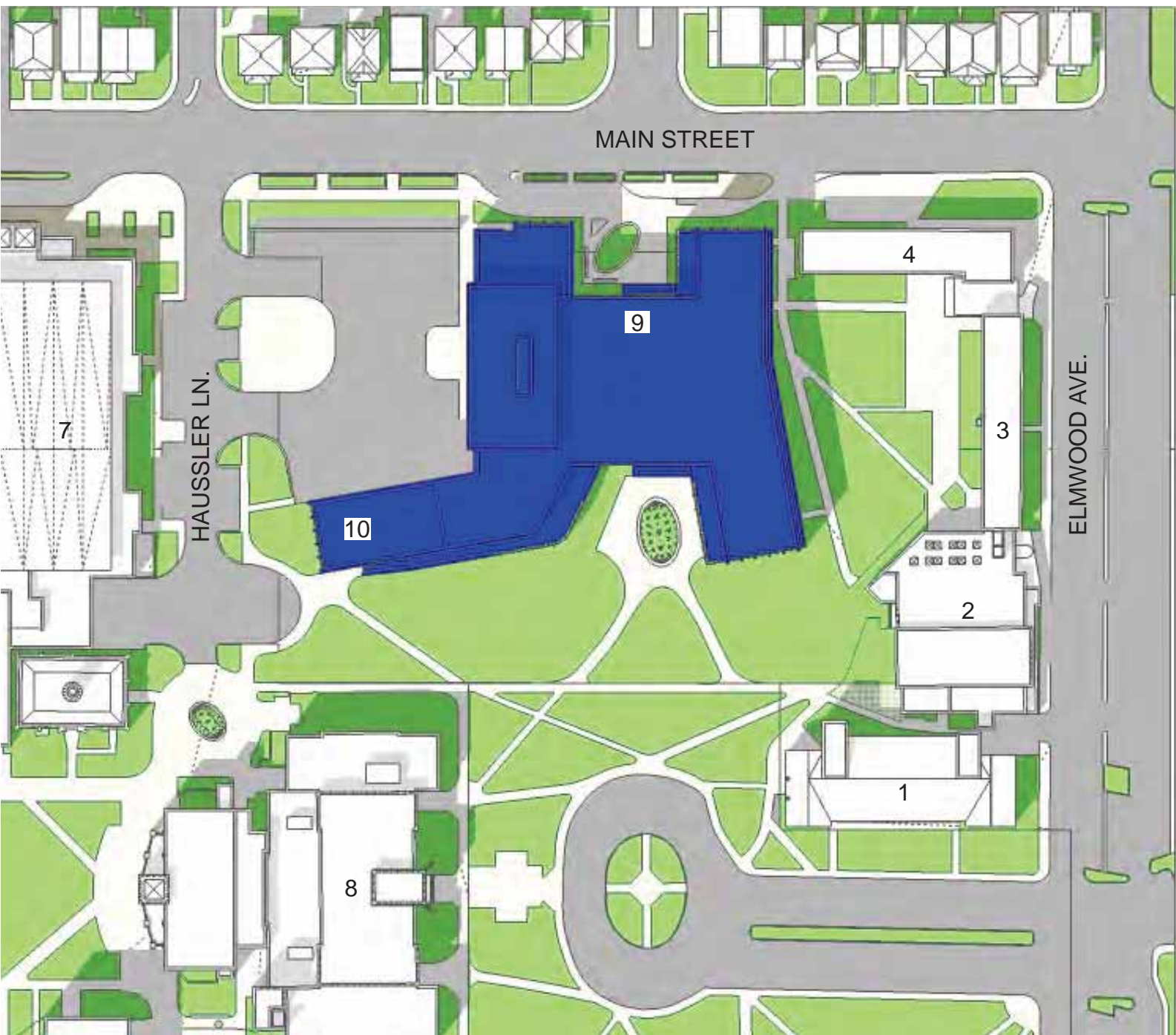
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7. RENAISSANCE COLISEUM
8. BRADLEY HALL
9. BUSINESS & ENG. PH. 1

## INSTITUTIONAL PLAN AMENDMENT

BUSINESS & ENGINEERING  
DEMOLISH JOBST  
1-3-17





# LEGEND

- EXISTING BUILDING
- DEMOLISHED BUILDING
- NEW BUILDING

# LEGEND

1. HARTMANN CENTER
2. MICHEL STUDENT CENTER
3. SISSON HALL
4. BURGESS HALL
7. RENAISSANCE COLISEUM
8. BRADLEY HALL
9. BUSINESS & ENG. PH. 1
10. BUSINESS & ENG. PH. 2

## INSTITUTIONAL PLAN AMENDMENT

## BUSINESS & ENGINEERING PHASE 2 1-3-17



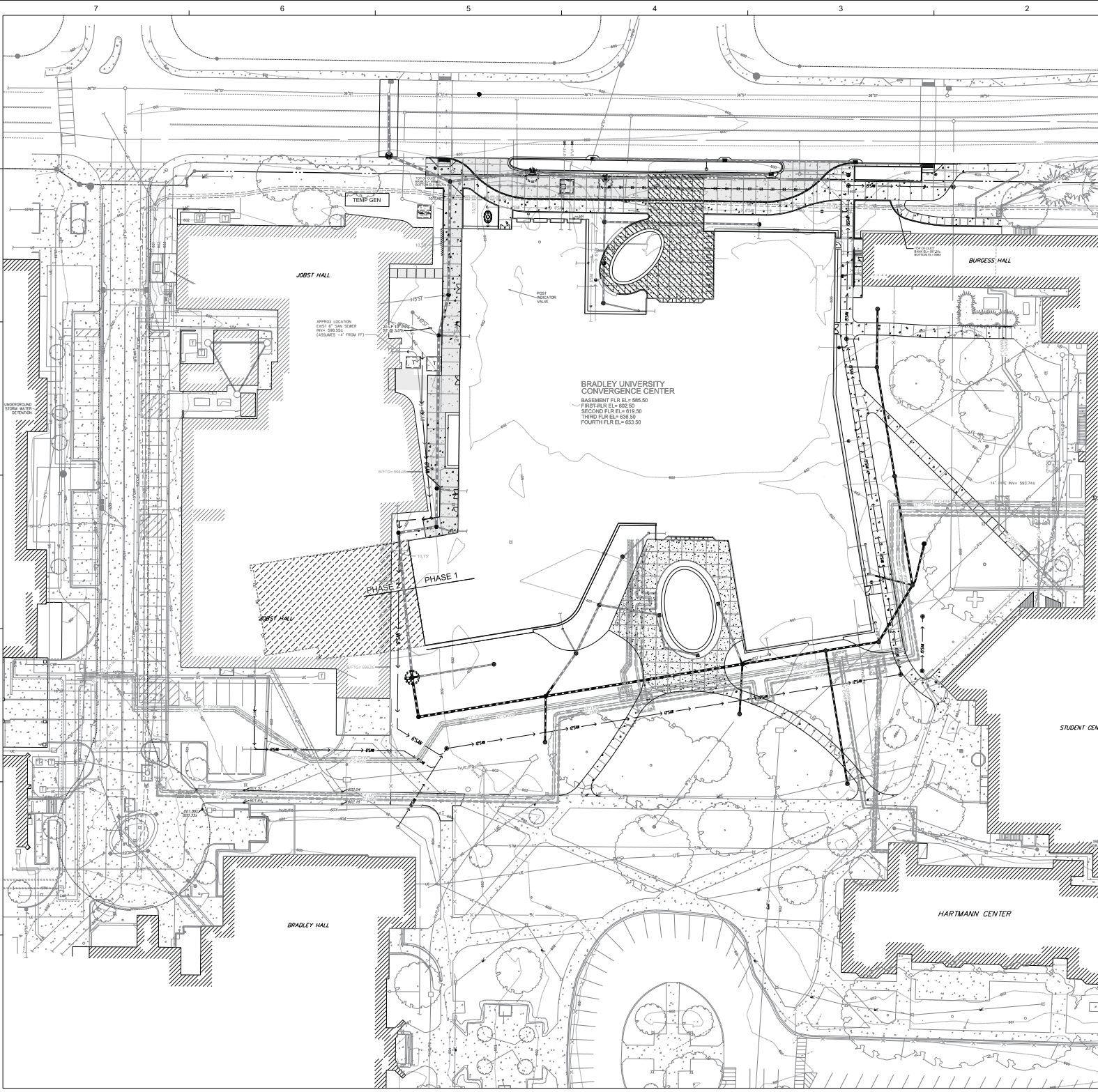












**BRADLEY UNIVERSITY CONVERGENCE CENTER**  
 BASEMENT FLR EL = 865.50  
 FIRST FLR EL = 892.50  
 SECOND FLR EL = 815.50  
 THIRD FLR EL = 828.50  
 FOURTH FLR EL = 663.50

**PROPOSED SITE LEGEND**

- CONTOUR
- SWALE
- 8" CONCRETE PAVEMENT
- 8" CONCRETE SIDEWALK
- CONCRETE CURB & GUTTER
- DETECTABLE WARNING
- STORM SEWER
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- FIRE PROTECTION WATER SERVICE
- STORM MANHOLE
- CURB INLET
- SANITARY MANHOLE
- SANITARY SAMPLING MANHOLE
- YARD CLEAN OUT
- GATE VALVE
- THRUST BLOCKING
- LIGHT POLE
- LIGHT BOLLARD
- SPOT ELEVATION
- UTILITY CONNECTION

**Dewberry**  
 Dewberry Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.242.8000 Phone  
 309.242.8007 Fax

Dewberry Engineers Inc.  
 201 West Street  
 Raleigh, NC 27607  
 919.851.2000 Phone  
 919.851.2019 Fax  
 NCES 018-F-0009

**RFD**  
 RESEARCH FACILITIES DESIGN  
 3840 PFTW AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92108  
 TEL: 619.597.4100  
 FAX: 619.597.4200

**HOERR SCHAUDT**  
 850 W. Jackson Blvd., Ste. 800  
 Chicago, IL 60607  
 TEL: 312.462.5607

**GENERAL NOTES**

BRADLEY UNIVERSITY  
**BRADLEY CONVERGENCE CENTER**  
 WEST MAIN STREET  
 PEORIA, IL 61602  
 50% CONSTRUCTION DOCUMENTS

SEAL  
 PRELIMINARY DOCUMENTS  
 NOT FOR CONSTRUCTION

SEAL

KEY PLAN

SCALE  
 1"=20'

No.	Description	Date

REVISIONS  
 DRAWN BY: MSL  
 APPROVED BY: GLR  
 CHECKED BY: GLR  
 DATE: 1-20-16

TITLE  
**SITE GRADING PLAN - PHASE 1**

PROJECT NO. 0007341

**SITE GRADING PLAN - PHASE 1**  
 SCALE: 1"=20'

**C-120**  
 SHEET NO.







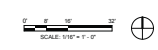






- Department Legend - PHASE 1**
- BUILDING FACILITIES
  - CIRCULATION
  - CIVIL ENGINEERING CONSTRUCTION
  - CLASSROOM
  - COLLABORATION AREA
  - Business Offices
  - COLLEGE OF ENGINEERING & TECHNOLOGY
  - CONFERENCE ROOM
  - MECHANICAL ENGINEERING
- Department Legend - PHASE 2**
- BUILDING FACILITIES
  - CIRCULATION
  - CIVIL ENGINEERING CONSTRUCTION
  - CLASSROOM
  - COLLABORATION AREA
  - COLLEGE OF BUSINESS
  - COLLEGE OF ENGINEERING & TECHNOLOGY
  - COMPUTER LAB
  - INDUSTRIAL MANUFACTURING ENG & TECHNOLOGY
  - MECHANICAL ENGINEERING

**1 First Floor Plan - Presentation**  
 Scale: 1/16" = 1'-0"











7

6

5

4

3

2

1

G

F

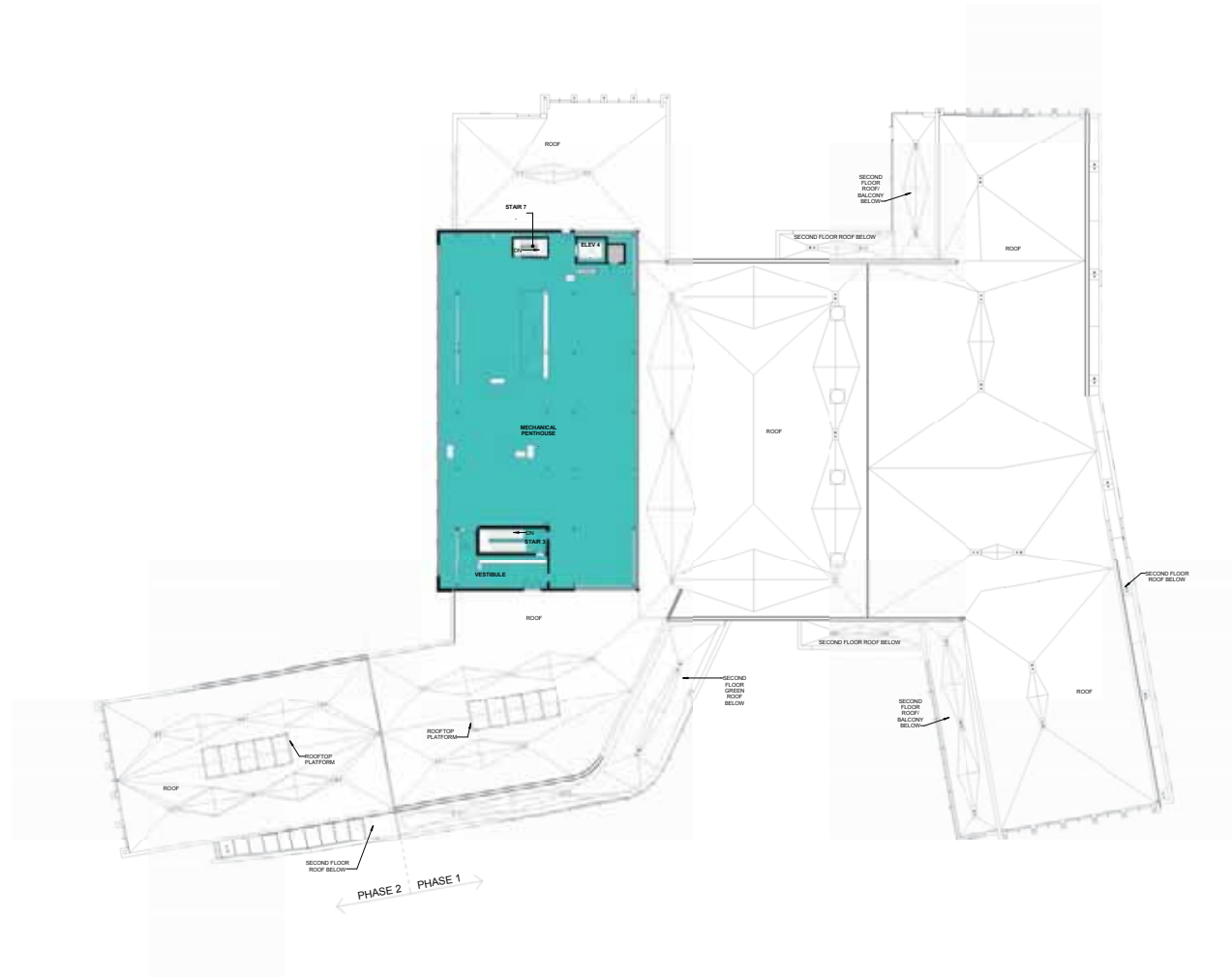
E

D

C

B

A



Department Legend - PHASE 1

- BUILDING FACILITIES
- CIRCULATION

Deberry Architects Inc.  
401 SW WATER STREET  
SUITE 701  
PEORIA, IL 61602  
309.242.8800 Phone  
309.242.8800 Fax

Deberry Engineers Inc.  
2010 Wynn Road  
Raleigh, NC 27607  
919.851.9200 Phone  
919.851.9223 Fax  
NCCELS # F-002

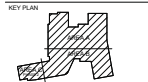
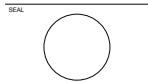


RESEARCH FACILITIES DESIGN  
3945 FIRTH AVENUE, SUITE 400  
SAN DIEGO, CALIFORNIA 92103  
TEL: 619.297.5159  
FAX: 619.294.4801

**HOERR SCHAUDT**  
850 W. Jackson Blvd. Ste. 800  
Chicago, IL 60607  
TEL: 312.482.8801

BRADLEY UNIVERSITY  
**BRADLEY CONVERGENCE CENTER**  
WEST MAIN STREET  
PEORIA, IL 61602  
50% CONSTRUCTION DOCUMENTS

SEAL  
PRELIMINARY DOCUMENTS  
NOT FOR CONSTRUCTION



SCALE  
1/16" = 1'-0"

No.	Description	Date

REVISIONS  
DRAWN BY \_\_\_\_\_ Author  
APPROVED BY \_\_\_\_\_ Approver  
CHECKED BY \_\_\_\_\_ Checker  
DATE \_\_\_\_\_ 11-08-2016

TITLE  
**MECHANICAL FLOOR PLAN - OVERALL**

PROJECT NO. 50073413

**A5**

SHEET NO.

1 Mechanical Floor Plan - Presentation  
Scale: 1/16" = 1'-0"





VIEW FROM THE MAIN QUAD LOOKING NORTH



BUSINESS AND ENGINEERING COMPLEX (CONVERGENCE CENTER)

VIEW FROM MAIN STREET LOOKING SOUTH



BUSINESS AND ENGINEERING COMPLEX (CONVERGENCE CENTER)



VIEW FROM MAIN STREET LOOKING SOUTHEAST



BUSINESS AND ENGINEERING COMPLEX (CONVERGENCE CENTER)

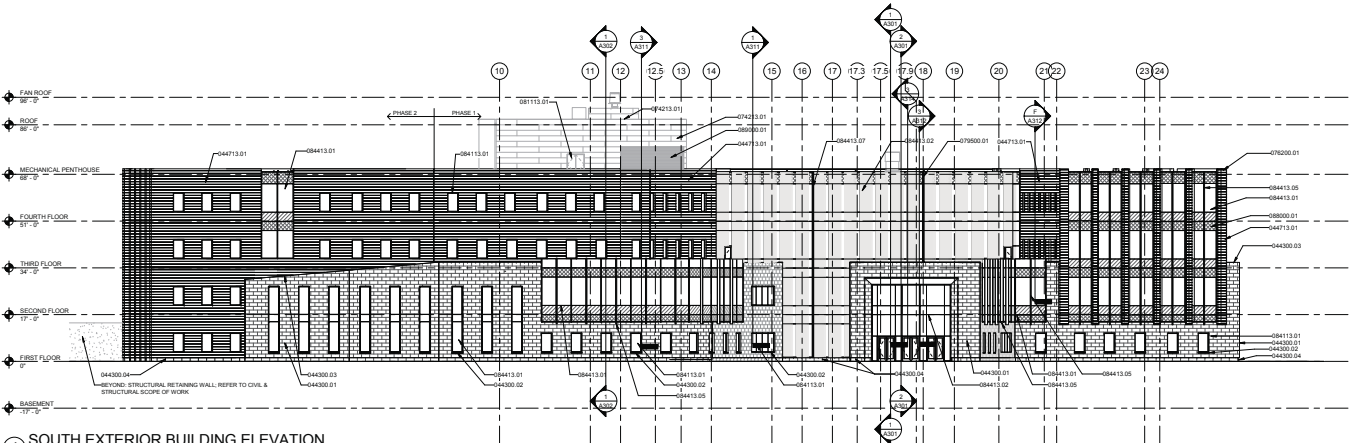
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03300.02	ARCHITECTURAL REVEAL JOINT
02400.01	PRECAST ARCHITECTURAL CONCRETE VENEER PANEL
04300.01	FAINTONE VENEER
04300.02	FAINTONE CORNER
04300.03	FAINTONE CURB
04300.04	FAINTONE EXP. COURSE - 1/2"
04713.01	FIBRO-COTTA WALL PANEL ASSEMBLY REFER TO A.I. 100-01
07623.01	PRE-FINISHED ALUMINUM CAP ASSEMBLY WITH CONCEALED GLAZING AND SPIGOT PLATES AT JOINTS
07650.01	EXTERIOR VERTICAL FLOORS MOIST EXPANSION JOINT SYSTEM
08113.01	1 1/2" GA. HOLLOW METAL DOOR
08303.01	INSULATED PRE-FINISHED ALUMINUM OVERHEAD CEILING DOOR
08313	ELECTRICAL DOORS
08713	FLOORED FRAMES TO WALLS AND STAIRWAYS
08413.01	PRE-FINISHED ALUMINUM COMPARTMENT ASSEMBLY - OUTSIDE GLAZED HORIZONTAL STRUCTURAL SILICONE GLAZED (SSG), INITIAL PRESSURE PLATE
08413.02	PRE-FINISHED ALUMINUM COMPARTMENT ASSEMBLY - OUTSIDE GLAZED 4WAY STRUCTURAL SILICONE GLAZED (SSG)
08413.03	PRE-FINISHED VERTICAL MULLION WITH EXTENSION AND CAP
08413.04	PRE-FINISHED VERTICAL MULLION
08413.05	PRE-FINISHED ALUMINUM HEAD FRAME
08500.01	SLIP RESISTANT ALUMINUM DOOR
08613.01	FLAME AND FUME FACTOR APPROVED PARTENERS FOR EXISTING DOOR
11200.01	ELECTRIC PANEL ASSEMBLY
11200.02	RECESSED ELECTRIC PANELS DOOR LEVEL BY ASSEMBLY WITH INTEGRAL, INSULATED LENS IN PLATE AND BUMPER

**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.240.8000 Phone  
 309.240.8001 Fax

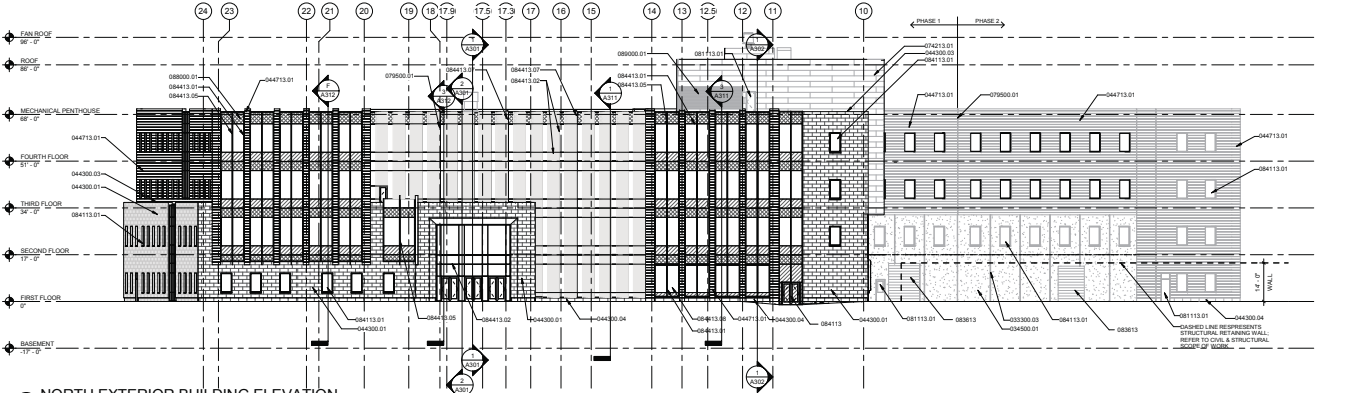
Dewberry Engineers Inc.  
 201 West Main  
 Peoria, IL 61601  
 309.681.9000 Phone  
 309.681.9023 Fax  
 NCE018-17-0000

**RFD**  
 RESEARCH FACILITIES DESIGN  
 3960 PFTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.297.0100  
 FAX: 619.296.4501

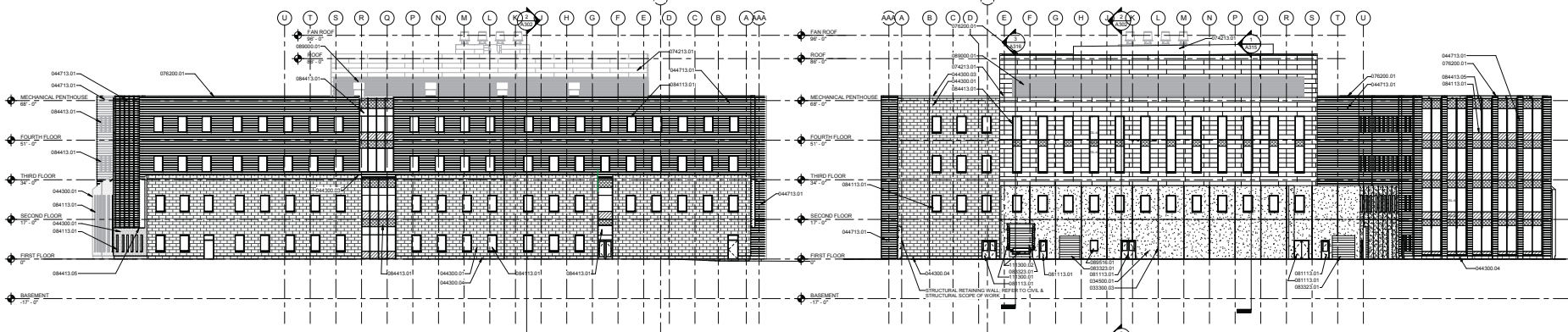
**HOERR SCHAUDT**  
 850 W. Jackson Blvd. Ste. 800  
 Chicago, IL 60601  
 TEL: 312.426.8501



**4 SOUTH EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



**3 NORTH EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"

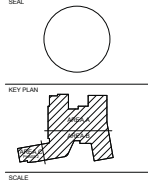


**2 EAST EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"

**1 WEST EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"

BRADLEY UNIVERSITY  
**BRADLEY CONVERGENCE CENTER**  
 WEST MAIN STREET  
 PEORIA, IL 61602  
 50% CONSTRUCTION DOCUMENTS

PRELIMINARY DOCUMENTS  
 NOT FOR CONSTRUCTION



SCALE: 1/16" = 1'-0"

No.	Description	Date

REVISIONS  
 DRAWN BY: KPN  
 APPROVED BY: GMB  
 CHECKED BY: Checker  
 DATE: 11-08-2016

TITLE  
**EXTERIOR BUILDING ELEVATIONS - PHASE 1 & 2**  
 PROJECT NO.: 60073412

**A201**  
 SHEET NO.



**EXTERIOR BUILDING ELEVATION GENERAL NOTES**

1. REFER TO

**KEYNOTES PER SHEET**

NOTE	DESCRIPTION

**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.242.8000 Phone  
 309.242.8001 Fax

Dewberry Engineers Inc.  
 2415 W. HART BLVD.  
 RALEIGH, NC 27607  
 919.851.9000 Phone  
 919.851.9023 Fax  
 NCCELS # F-0009

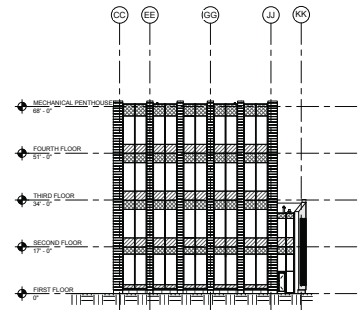
**RFD**  
 RESEARCH FACILITIES DESIGN  
 3960 FIFTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.297.0100  
 FAX: 619.296.4501

**HOERR SCHAUDT**  
 850 W. JACKSON BLVD. Ste. 800  
 CHICAGO, ILLINOIS 60607  
 TEL: 312.432.4501

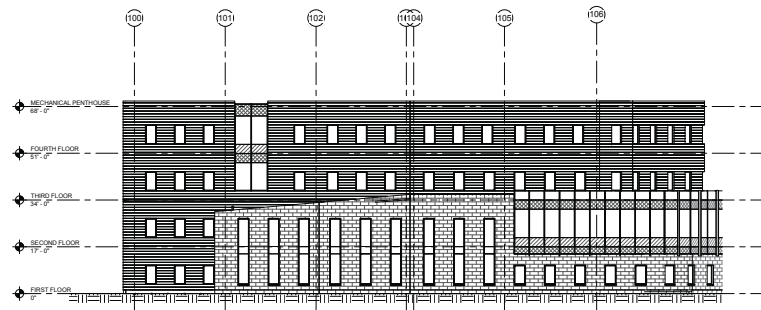
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 PEORIA, IL 61602  
 50% CONSTRUCTION DOCUMENTS



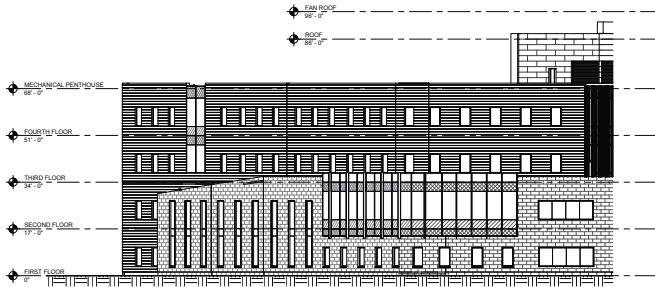
**10 NORTHWEST PARTIAL EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



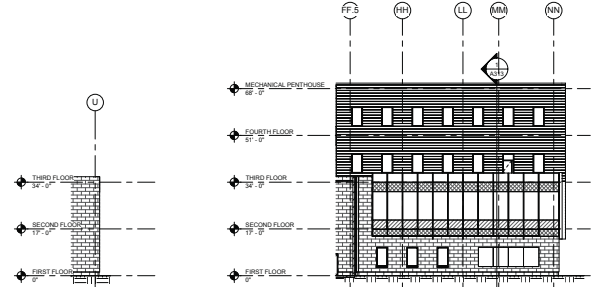
**9 SOUTH WESTERN PARTIAL EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



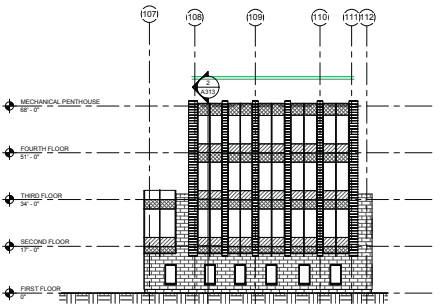
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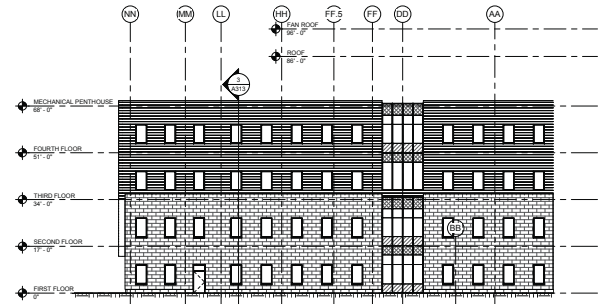
**7 SOUTHEAST PARTIAL COURTYARD EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



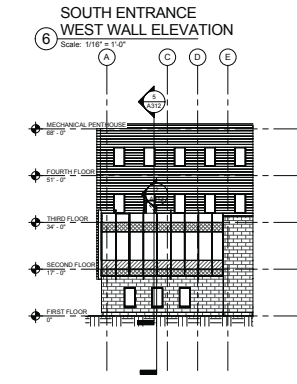
**5 SOUTHWEST PARTIAL COURTYARD EXTERIOR BUILDING ELEVATION**  
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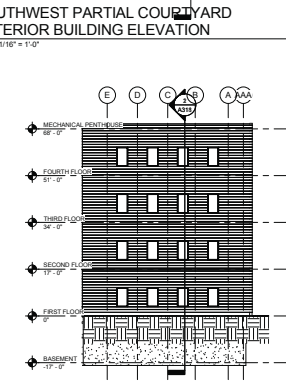
**4 SOUTH EASTERN PARTIAL EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



**3 SOUTHEAST PARTIAL EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



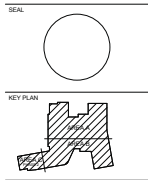
**2 NORTHWEST PARTIAL COURTYARD EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"



**1 NORTH EAST PARTIAL COURTYARD EXTERIOR BUILDING ELEVATION**  
 Scale: 1/16" = 1'-0"

SEAL

PRELIMINARY DOCUMENTS  
 NOT FOR CONSTRUCTION



SCALE: 1/16" = 1'-0"

No.	Description	Date

**REVISIONS**

DRAWN BY: KPN  
 APPROVED BY: GMB  
 CHECKED BY: Chalar  
 DATE: 11-08-2016

**TITLE**

EXTERIOR BUILDING ELEVATIONS - PHASE 1 & 2

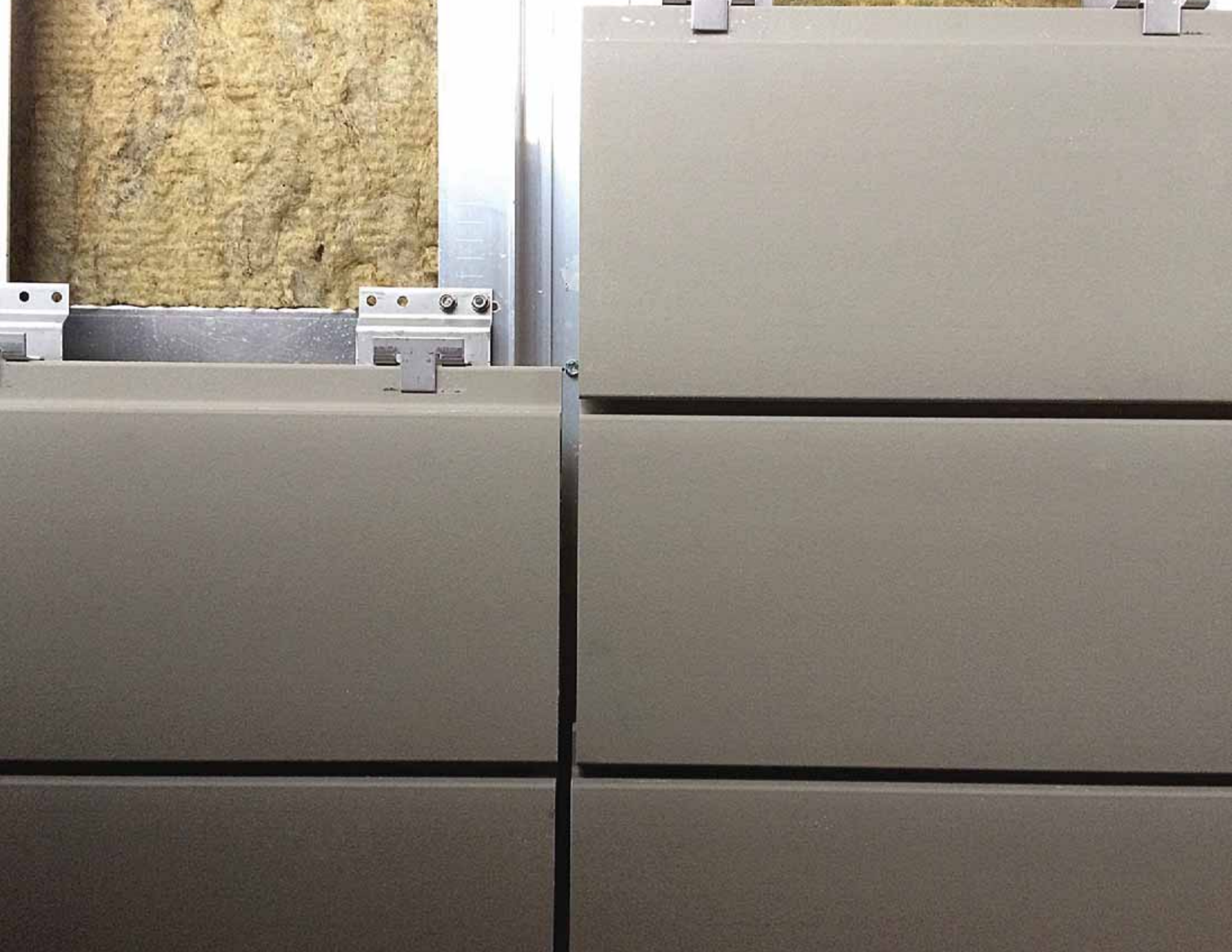
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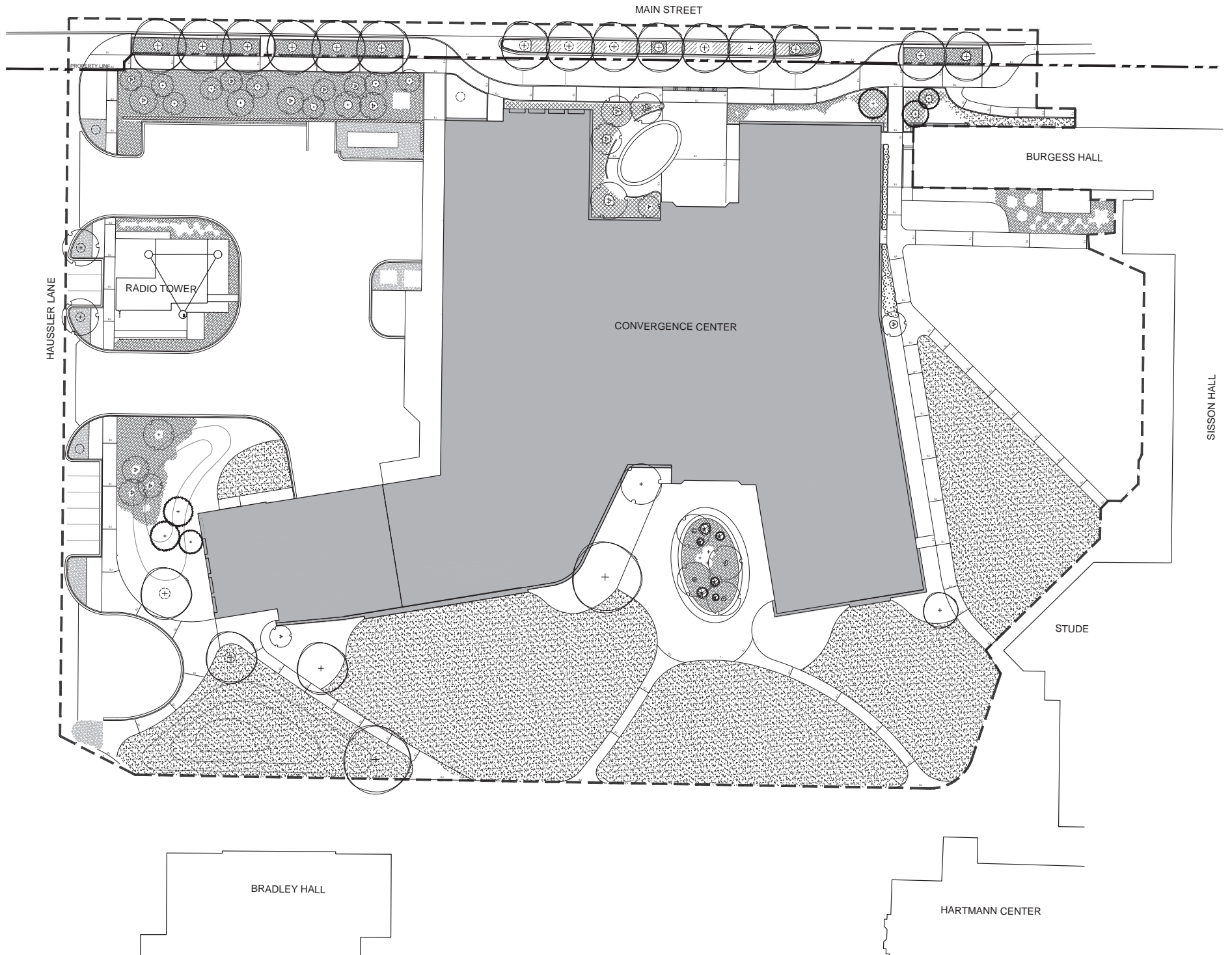
**A202**

SHEET NO.

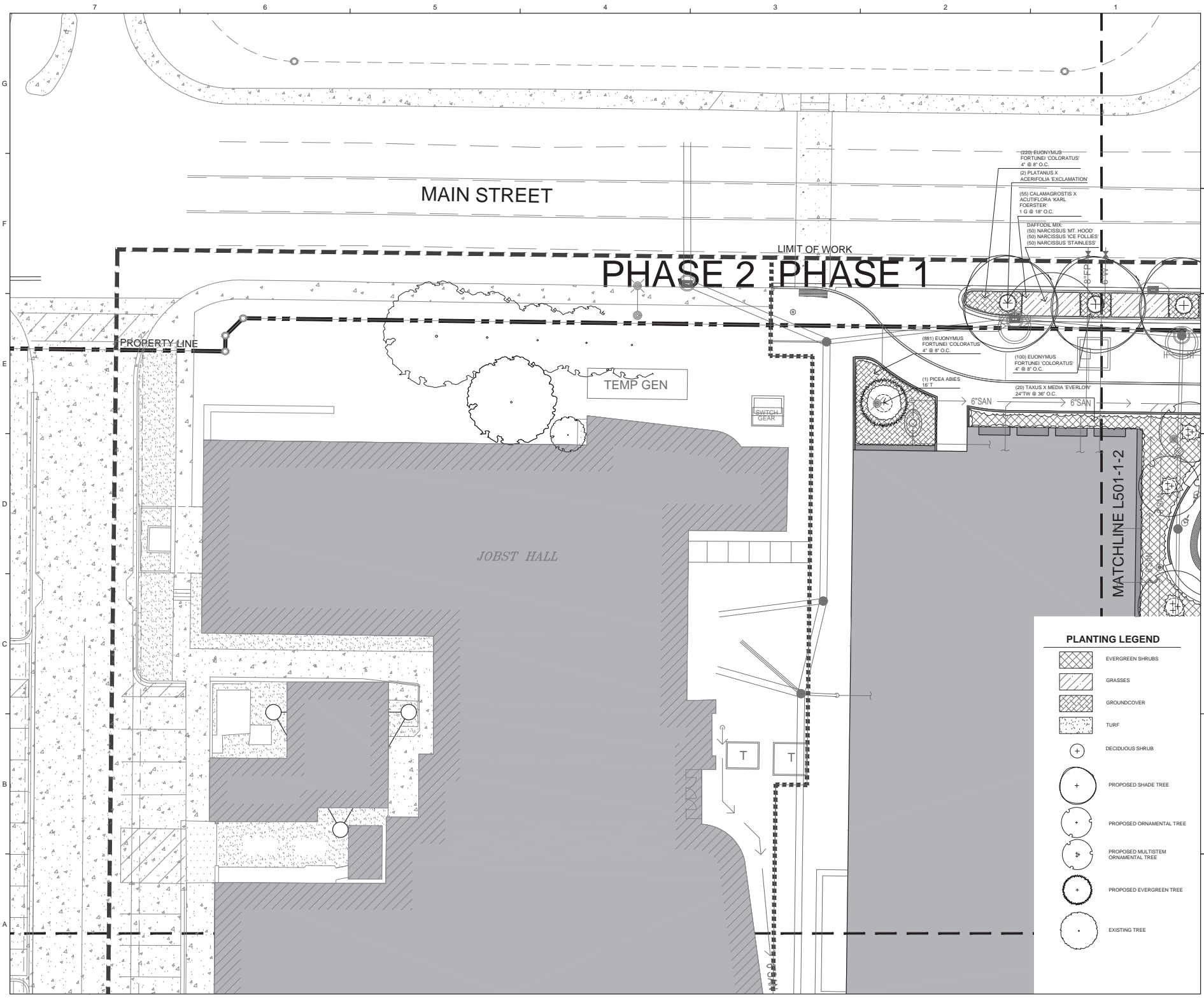












**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 701  
 PEORIA, IL 61602  
 309.262.8000 Phone  
 309.262.8001 Fax

Dewberry Engineers Inc.  
 215 West Wall Street  
 Raleigh, NC 27607  
 919.881.9000 Phone  
 919.881.9025 Fax  
 NCEES # F-0029











**RFD**  
 RESEARCH FACILITIES DESIGN  
 3065 FTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.221.0750  
 FAX: 619.224.4801

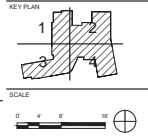
**HOERR SCHAUDT**  
 850 W. Jackson Blvd. Ste. 800  
 Chicago, IL 60607  
 TEL: 312.462.4801

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**PLANTING LEGEND**

-  EVERGREEN SHRUBS
-  GRASSES
-  GROUNDCOVER
-  TURF
-  DECIDUOUS SHRUB
-  PROPOSED SHADE TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED MULTISTEM ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  EXISTING TREE



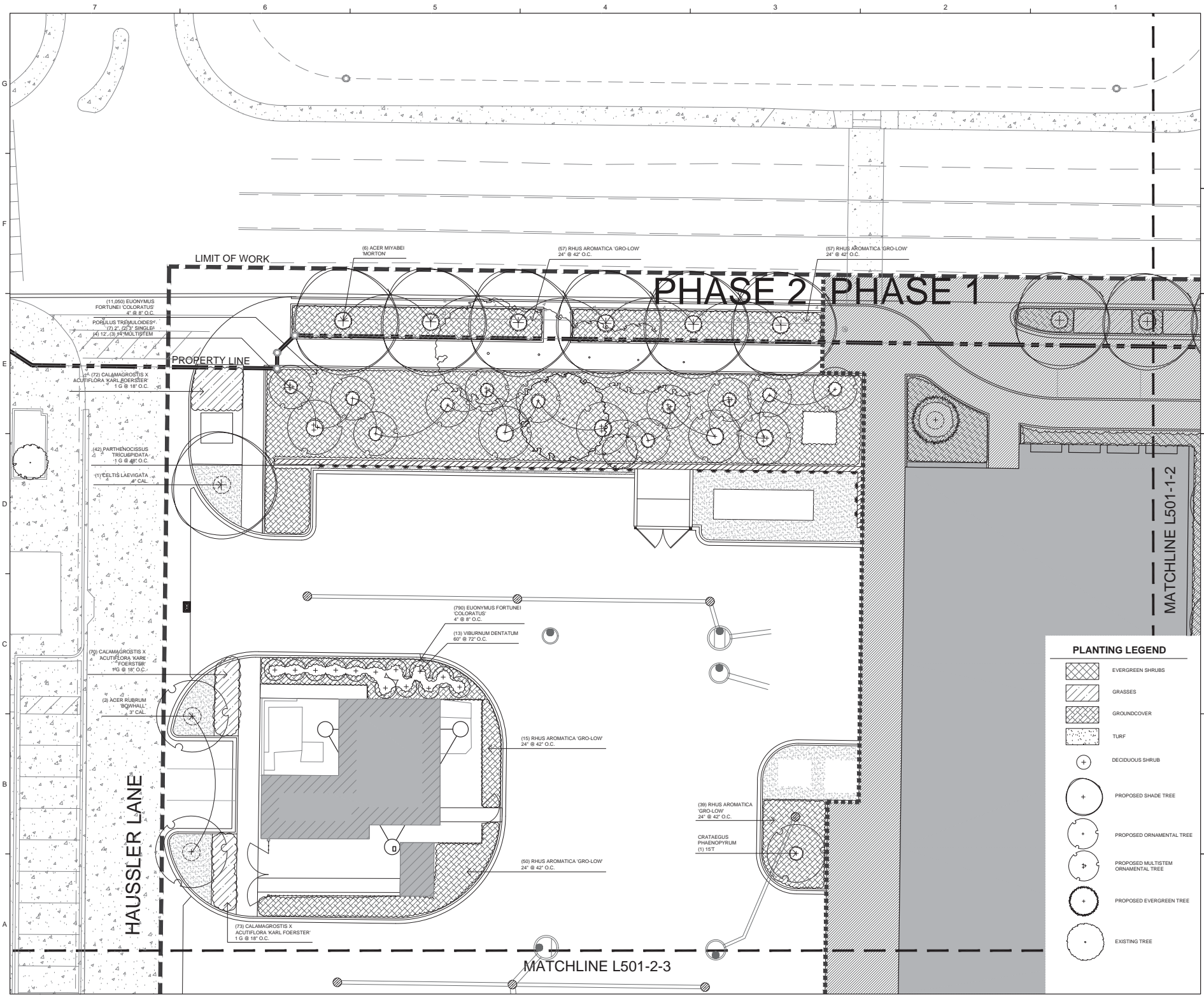
No.	Description	Date

**REVISIONS**

DRAWN BY NY, GG  
 APPROVED BY BS  
 CHECKED BY MC, Dh  
 DATE 02-08-2017

TITLE  
**PLANTING PLAN -  
 PHASE 1 -  
 ENLARGEMENT  
 AREA 1**

PROJECT NO. 50075413  
**L501-1-1**  
 SHEET NO.



**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.262.8000 Phone  
 309.262.8001 Fax

Dewberry Engineers Inc.  
 2015 Walnut Street  
 Raleigh, NC 27607  
 919.881.9000 Phone  
 919.881.9020 Fax  
 NCESLS # F-0029

**RFD**  
 RESEARCH FACILITIES DESIGN  
 3005 PTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.221.0769  
 FAX: 619.224.4801

**HOERR SCHAUDT**  
 850 W. Jackson Blvd. Ste. 800  
 CHICAGO, ILLINOIS 60607  
 TEL: 312.462.4801

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**PLANTING LEGEND**

- EVERGREEN SHRUBS
- GRASSES
- GROUNDCOVER
- TURF
- DECIDUOUS SHRUB
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED MULTISTEM ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREE

**KEY PLAN**

**SCALE**

No.	Description	Date
1	95% Construction Documents	12-28-2017
2	95% Construction Documents	11-28-2017
3	100% Design Development	06-23-2017

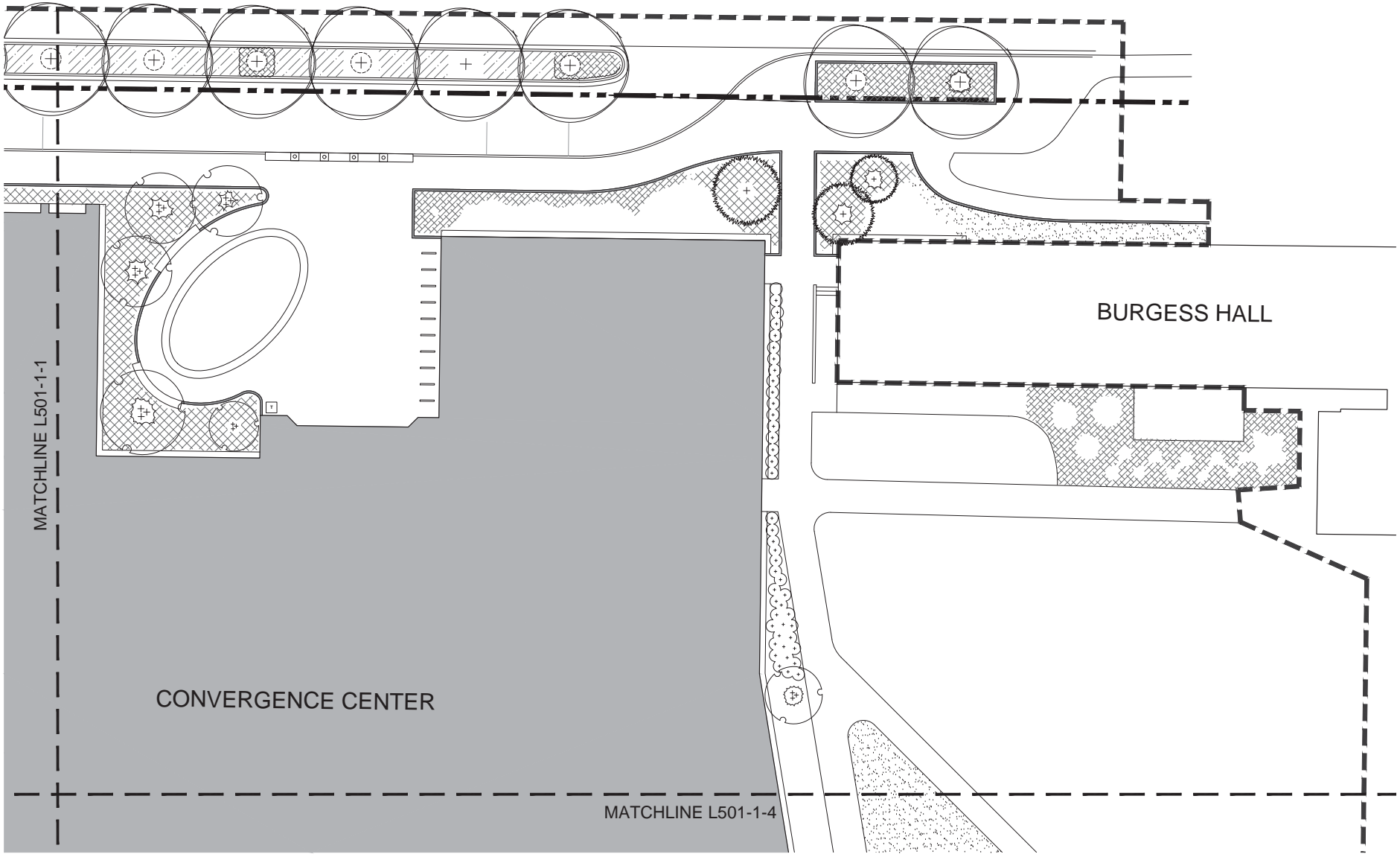
**REVISIONS**

DRAWN BY: NY, GG  
 APPROVED BY: SS  
 CHECKED BY: MC, DH  
 DATE: 02-08-2017

**TITLE**  
 PLANTING PLAN -  
 PHASE 2 -  
 ENLARGEMENT  
 AREA 1

**PROJECT NO.** 50075413  
**SHEET NO.** L501-2-1

MAIN STREET



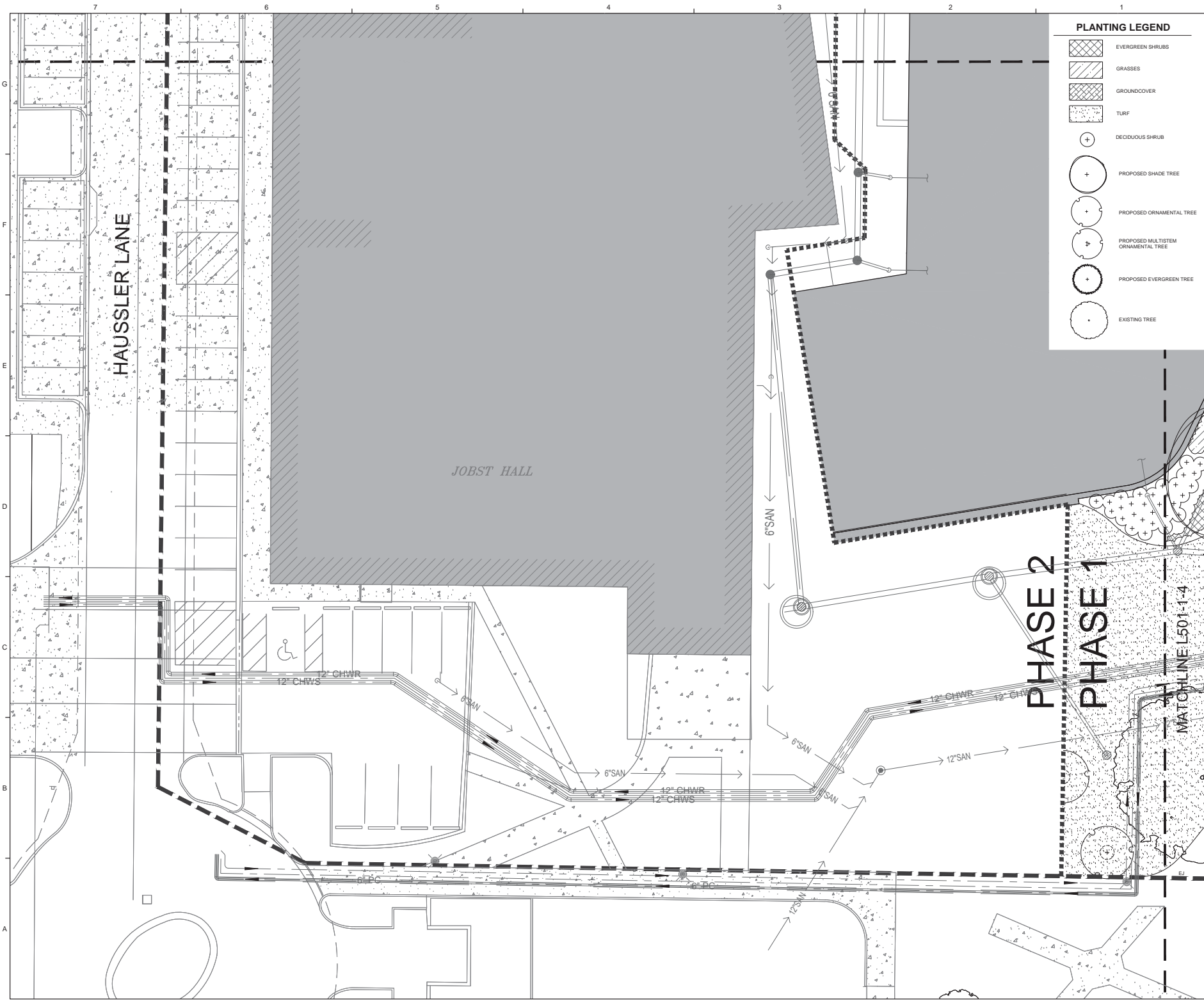
MATCHLINE L501-1-1

CONVERGENCE CENTER

BURGESS HALL

MATCHLINE L501-1-4





**PLANTING LEGEND**

- EVERGREEN SHRUBS
- GRASSES
- GROUND COVER
- TURF
- DECIDUOUS SHRUB
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- PROPOSED MULTISTEM ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREE

**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.262.8000 Phone  
 309.262.8001 Fax

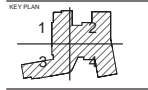
**RFD**  
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 2805 PTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.231.0750  
 FAX: 619.234.4801

**HOERR SCHAUDT**  
 850 W. JACKSON BLVD. STE. 800  
 CHICAGO, ILLINOIS 60607  
 TEL: 312.462.4801

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No.	Description	Date
1	95% Construction Documents	12-28-2017
2	95% Construction Documents	11-28-2017
3	100% Design Development	06-23-2017

**REVISIONS**

DRAWN BY	NY, GG
APPROVED BY	BS
CHECKED BY	MC, DH
DATE	02-08-2017

TITLE  
**PLANTING PLAN - PHASE 1 - ENLARGEMENT AREA 3**











PROJECT NO. 50075413

**L501-1-3**

SHEET NO.

MATCHLINE L501-2-1

PLANTING LEGEND

-  EVERGREEN SHRUBS
-  GRASSES
-  GROUNDCOVER
-  TURF
-  DECIDUOUS SHRUB
-  PROPOSED SHADE TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED MULTISTEM ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  EXISTING TREE

**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.262.8000 Phone  
 309.262.8001 Fax

Dewberry Engineers Inc.  
 2015 Walnut Street  
 Raleigh, NC 27607  
 919.881.9030 Phone  
 919.881.9025 Fax  
 NCESLS # F-0209

**RFD**  
 RESEARCH FACILITIES DESIGN  
 3000 PETER AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.234.1515  
 FAX: 619.234.4801

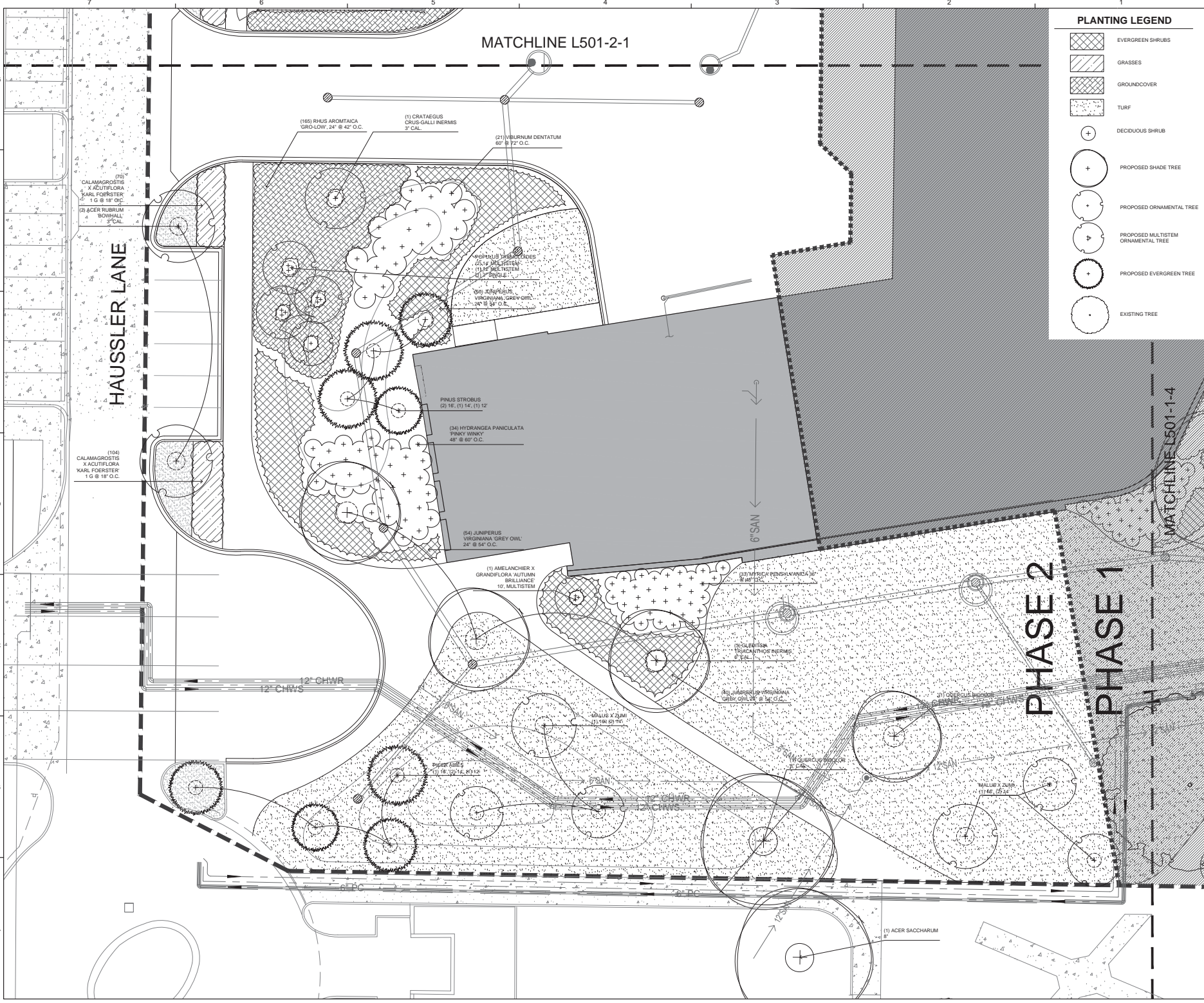
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 850 W. JACKSON BLVD. SUITE 800  
 CHICAGO, ILLINOIS 60607  
 TEL: 312.462.4801

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HAUSSLER LANE

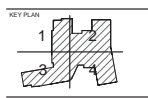
MATCHLINE L501-1-4

PHASE 2  
 PHASE 1



SEAL

SEAL



No.	Description	Date
1	95% Construction Documents (2/28/2017)	
2	95% Construction Documents (11/28/2016)	
3	100% Design Development (06/23/2016)	

REVISIONS

NO.	DESCRIPTION	BY	DATE
1		NY, GG	
2		BS	
3		MC, DH	
4			02-08-2017

TITLE  
**PLANTING PLAN - PHASE 2 - ENLARGEMENT AREA 3**

PROJECT NO. 50075413

**L501-2-3**

SHEET NO.



MATCHLINE L501-1-2

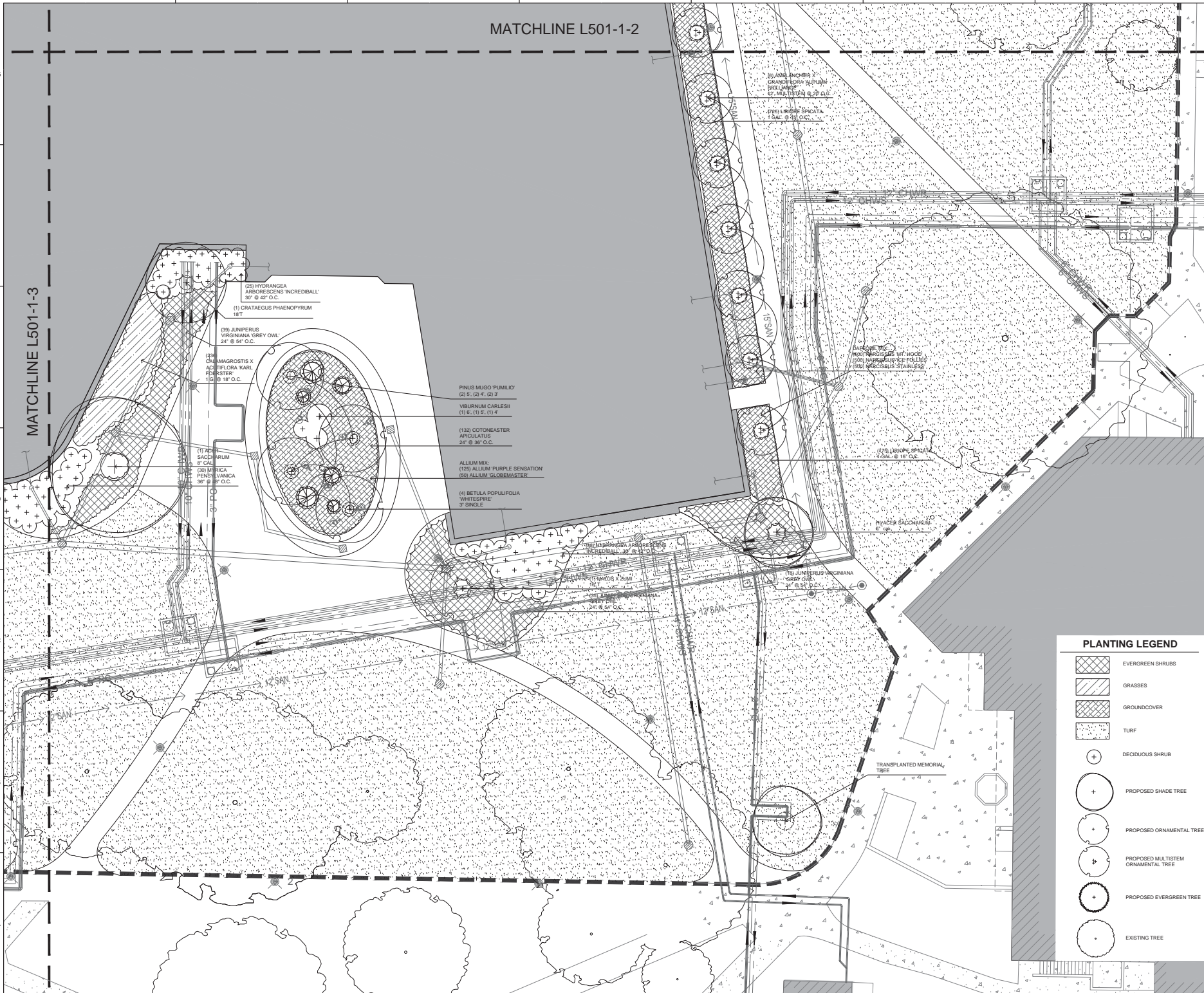
**Dewberry**  
 Dewberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 700  
 PEORIA, IL 61602  
 309.262.8000 Home  
 309.262.8001 Fax

Dewberry Engineers Inc.  
 201 Walnut Street  
 Raleigh, NC 27607  
 919.881.9933 Phone  
 919.881.9923 Fax  
 NCESLS # F-0209

**RFD**  
 RESEARCH FACILITIES DESIGN  
 3085 PTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.224.1750  
 FAX: 619.224.4801

**HOERR SCHAUDT**  
 850 W. Jackson Blvd. Ste. 800  
 Chicago, IL 60606  
 TEL: 312.462.4800

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- (25) HYDRANGEA ARBORESCENS INCREDIBALL®  
30' @ 42" O.C.
- (1) CRATAEGUS PHAENOPYRUM  
18'
- (39) JUNIPERUS VIRGINIANA GREY OWL®  
24' @ 54" O.C.
- (28) QUAMMAGROSIS X ACUTIFLORA KARL FOERSTER  
18' @ 18" O.C.
- FINUS MILIO PUMILIO  
(2) 5, (2) 4, (2) 3
- VIBURNUM CARLESII  
(1) 6, (1) 5, (1) 4
- (132) COTONEASTER APICULATUS  
24' @ 36" O.C.
- ALLIUM MIX  
(125) ALLIUM PURPLE SENSATION  
(50) ALLIUM GLOBEMASTER
- (4) BETULA POPULIFOLIA WHITESPIRE  
3" SINGLE
- (7) SACCHARINUM 8" CAL
- (30) NYCTAGINIA PENNSYLVANICA  
36" @ 36" O.C.

**PLANTING LEGEND**

- EVERGREEN SHRUBS
- GRASSES
- GROUNDCOVER
- TURF
- DECIDUOUS SHRUB
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED MULTISTEM ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREE

SEAL

SEAL

KEY PLAN

SCALE

No.	Description	Date
1	95% Construction Documents	12-28-2017
2	90% Construction Documents	11-28-2017
3	100% Design Development	08-23-2017

REVISIONS

DRAWN BY: NY, G.G.  
 APPROVED BY: SS  
 CHECKED BY: MC, Dh  
 DATE: 02-08-2017

TITLE  
**PLANTING PLAN - PHASE 1 - ENLARGEMENT AREA 4**

PROJECT NO.: 50075413

**L501-1-4**

SHEET NO.

**PLANTING SCHEDULE - PHASE 1**

SHADE TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Acer saccharum	Sugar Maple	1	8' cal.	
Acer saccharum	Sugar Maple	1	5' cal.	
Platanus x acerifolia 'Exclamation'	Exclamation London Plane	7	---	

ORNAMENTAL TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Acer myriade 'Morton'	Morton Myriade Maple	2	---	
Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	8	12' T, multistem 20' O.C.	
Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	1	10' T, multistem per plan	
Betula populifolia 'Whisper'	Whisper Birch	4	3' cal.	
Cercis canadensis	Eastern Redbud	3	14' T, multistem per plan	
Crataegus phaenopynum	Washington Hawthorn	1	18' T per plan	
Malus x zumi	Zumi Flowering Crab	1	16' T per plan	
Ostrya virginiana	American Hophornbeam	1	14' T, multistem per plan	
Taxodium distichum	Bald Cypress	1	16' T per plan	
Taxodium distichum	Bald Cypress	1	14' T per plan	
Taxodium distichum	Bald Cypress	1	12' T per plan	

EVERGREEN TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Picea abies	Norway Spruce	1	16' T per plan	
Picea omorika	Serbian Spruce	1	18' T per plan	
Picea omorika	Serbian Spruce	1	16' T per plan	
Picea omorika	Serbian Spruce	1	14' T per plan	

DECIDUOUS SHRUBS				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Clethra alnifolia 'Hummingbird'	Summersweet	40	30" 42" O.C.	
Diervilla lonicera	Northern Bush Honeysuckle	44	24" 30" O.C.	
Hydrangea arborescens 'Incrediball'	Incrediball Hydrangea	63	30" 42" O.C.	
Myrica pensylvanica	Bayberry	30	36" 48" O.C.	
Viburnum carlesii	Koreanspice Viburnum	6	6" per plan	
Viburnum carlesii	Koreanspice Viburnum	1	5" per plan	
Viburnum carlesii	Koreanspice Viburnum	1	4" per plan	
Viburnum dentatum	Arrowwood Viburnum	14	60" 72" O.C.	
Viburnum prunifolium	Blackhaw Viburnum	1	10' T per plan	

EVERGREEN SHRUBS				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	92	24" 54" O.C.	
Pinus mugo 'Pumilio'	Dwarf Mugo Pine	2	5" per plan	
Pinus mugo 'Pumilio'	Dwarf Mugo Pine	2	4" per plan	
Pinus mugo 'Pumilio'	Dwarf Mugo Pine	2	3" per plan	
Taxus x media 'Everlow'	Everlow Yew	266	24" TW 36" O.C.	

GROUNDCOVERS AND GRASSES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Calamagrostis x acutiflora 'Karl Foerster'	Reed Grass	706	1 gal, 18" O.C.	
Cotoneaster apiculatus	Cranberry Cotoneaster	132	24" 36" O.C.	
Euonymus fortunei 'Coloratus'	Wintercreeper Euonymus	4,515	4" 8" O.C.	
Liriope spicata	Creeping Liriope	900	1 gal, 15" O.C.	
Rhus aromatica 'Gro-Low'	Fragrant Sumac	41	24" 42" O.C.	

BULBS				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Allium 'Globemaster'	Globemaster Allium	90	1 per sf @ 5%	
Allium 'Purple Sensation'	Purple Sensation Allium	250	1 per sf @ 5%	
Narcissus 'Ice Follies'	Daffodil	800	5 per sf @ 20%	
Narcissus 'Mt Hood'	Daffodil	800	5 per sf @ 20%	
Narcissus 'Stainless'	Daffodil	800	5 per sf @ 20%	

GREEN ROOF SEDUM MIX - ADD ALT. #G-2				
PRODUCT	MANUFACTURER	QUANTITY	SIZE & SPACING	NOTES
4' Tray System sedum mix	LiveRoof www.LiveRoof.com	2,010 SF	1' x 2' x 4' Tray	

TURF/LAWN				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	NOTES
Lawn - Bluegrass Blend		43,000	sf	SOD

**PLANTING SCHEDULE - PHASE 2**

SHADE TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Acer saccharum	Sugar Maple	1	8' cal.	
Celtis laevigata	Sugarberry	1	4' cal.	
Gleditsia tricanthos inermis	Thornless Honeylocust	3	6' cal.	
Quercus bicolor	Swamp White Oak	1	8' cal.	
Quercus bicolor	Swamp White Oak	1	6' cal.	

ORNAMENTAL TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Acer myriade 'Morton'	Morton Myriade Maple	6	---	
Acer rubrum 'Bowhall'	Bowhall Maple	4	3' cal.	
Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	1	10' T, multistem per plan	
Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1	3' cal.	
Crataegus phaenopynum	Washington Hawthorn	1	18' T per plan	
Malus x zumi	Zumi Flowering Crab	2	16' T per plan	
Malus x zumi	Zumi Flowering Crab	4	14' T per plan	
Populus tremuloides	Quaking Aspen	8	2', single per plan	
Populus tremuloides	Quaking Aspen	2	3', single per plan	
Populus tremuloides	Quaking Aspen	5	12' T, multistem per plan	
Populus tremuloides	Quaking Aspen	5	14' T, multistem per plan	

EVERGREEN TREES				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Picea abies	Norway Spruce	1	16' T per plan	
Picea abies	Norway Spruce	2	14' T per plan	
Picea abies	Norway Spruce	1	12' T per plan	
Pinus strobus	Eastern White Pine	2	16' T per plan	
Pinus strobus	Eastern White Pine	1	14' T per plan	
Pinus strobus	Eastern White Pine	1	12' T per plan	

DECIDUOUS SHRUBS				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	34	48" 60" O.C.	
Myrica pensylvanica	Bayberry	33	36" 48" O.C.	
Viburnum dentatum	Arrowwood Viburnum	37	60" 72" O.C.	

EVERGREEN SHRUBS				
SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE & SPACING	NOTES
Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	144	24" 54" O.C.	

**Dowberry**  
 Dowberry Architects Inc.  
 401 SW WATER STREET  
 SUITE 701  
 PEORIA, IL 61602  
 309.242.8000 Home  
 309.242.8001 Fax

Dowberry Engineers Inc.  
 1000 N. 1st Street  
 Raleigh, NC 27607  
 919.881.9339 Phone  
 919.881.9323 Fax  
 NCESBES 17-0229

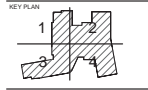
**RFD**  
 RESEARCH FACILITIES DESIGN  
 3065 FTH AVENUE, SUITE 400  
 SAN DIEGO, CALIFORNIA 92103  
 TEL: 619.221.0150  
 FAX: 619.224.4901

**HOERR SCHAUDT**  
 850 W. Jackson Blvd. Ste. 800  
 Chicago, IL 60606  
 TEL: 312.492.8501

BRADLEY UNIVERSITY  
**BRADLEY CONVERGENCE CENTER**  
 WEST MAIN STREET  
 PEORIA, IL 61602  
 95% CONSTRUCTION DOCUMENTS

SEAL

SEAL



SCALE

No.	Description	Date
1	95% Construction Documents	12/28/2017
2	95% Construction Documents	11/28/2017
3	100% Design Development	06/23/2016

REVISIONS  
 DRAWN BY: NY, GG  
 APPROVED BY: BS  
 CHECKED BY: MC, DH  
 DATE: 02-08-2017

TITLE  
**PLANTING SCHEDULE**

PROJECT NO. 50970413

**L503**

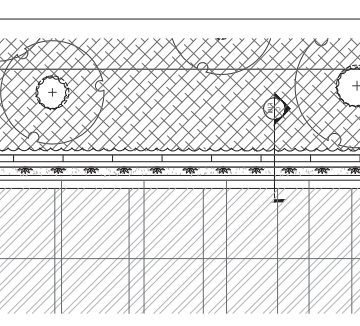
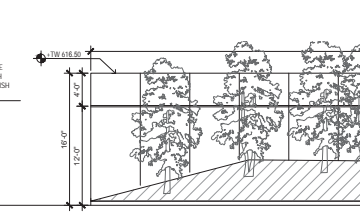
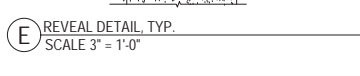
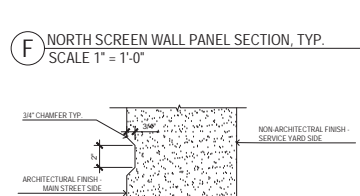
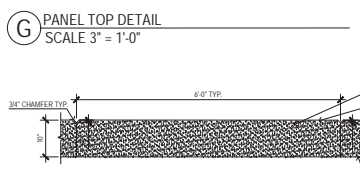
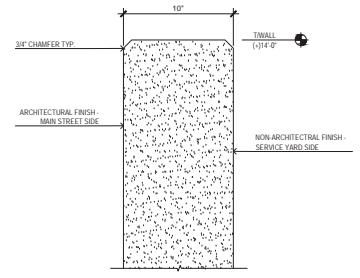
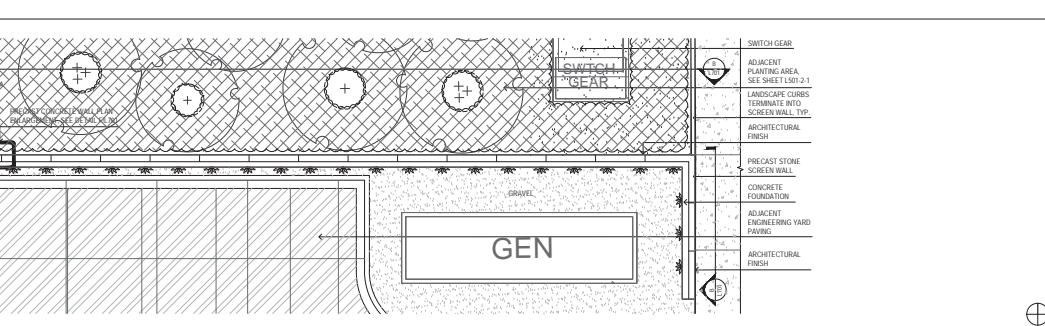
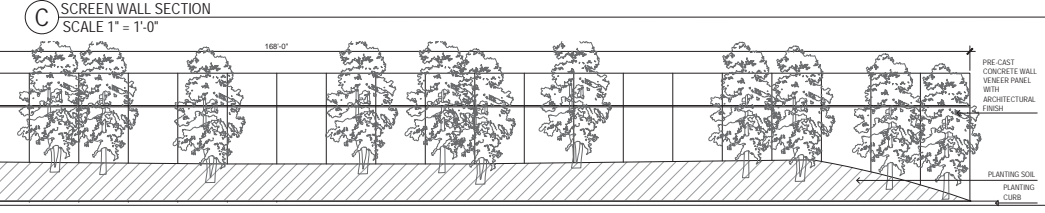
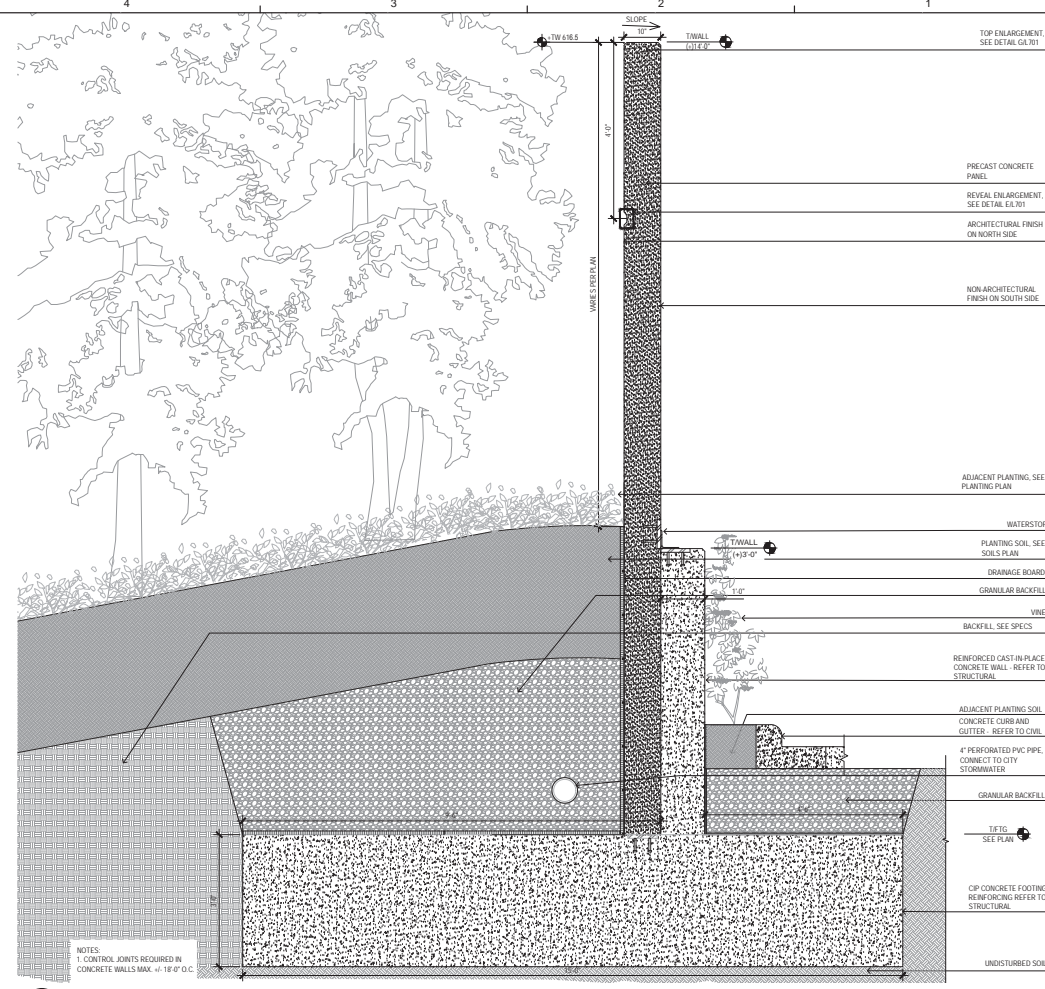
SHEET NO.



No.	Description	Date
1	95% Construction Documents	12/28/2017
2	95% Construction Documents	11/28/2018
3	100% Design Development	06/20/2019

**REVISIONS**

APPROVED BY	DATE
OG	
BS	
MC, DH	
DATE	11-08-2018



7 6 5 4 3 2 1

G  
F  
E  
D  
C  
B  
A

**G** PANEL TOP DETAIL  
SCALE 3" = 1'-0"

**F** NORTH SCREEN WALL PANEL SECTION, TYP.  
SCALE 1" = 1'-0"

**E** REVEAL DETAIL, TYP.  
SCALE 3" = 1'-0"

**C** SCREEN WALL SECTION  
SCALE 1" = 1'-0"

**B** SCREEN WALL ELEVATION  
SCALE 3/16" = 1'-0"

**A** SCREEN WALL PLAN  
SCALE 3/16" = 1'-0"

NOTES:  
1. CONTROL JOINTS REQUIRED IN CONCRETE WALLS MAX. @ 18'-0" O.C.















January 26, 2017

**Official Development Plan, Amendment to the 2007 Bradley University Institutional Plan**

On behalf of Bradley University, it is our intent to request approval of an amendment to the Bradley University Institutional Plan, originally approved on April 17, 2007.

This request refers to the expansion shown to Jobst Hall in the original, approved plan, page 2.2A. Given the current needs of the University and the opportunity to merge two principal colleges into one facility, we are proposing an amendment allowing for the demolition of Jobst Hall and Baker Hall and new construction of the proposed Business and Engineering Complex, also referred to as the Convergence Center. The construction duration is estimated to be four years, including two primary phases of construction and resulting in 270,000 square feet of new academic space to support the Business and Engineering Colleges.

This proposed facility is located within the approved property boundaries of Bradley University. In addition, this facility will have a positive impact on the local community and serve as a critical foundation for academic opportunities at Bradley University.

It is our intent to meet the requirements established in the Institutional Plan approval of 2007 and continue on-going neighborhood communications. As such, a Neighborhood Meeting was held, January 19, 2017 and an interactive website, where the community can submit questions and comments, has been established to further this effort. The web-link is [www.bradley.edu/complexpreview](http://www.bradley.edu/complexpreview).

Associated drawings, elevations, description of exterior lighting, description of the exterior façade and summary of the proposed facility are included as a basis for our request. All preceding presentation materials are also included.

For further information, kindly contact Kim Green at 309.677.2524 or [kgreen@fsmail.bradley.edu](mailto:kgreen@fsmail.bradley.edu)

Respectfully,

A handwritten signature in blue ink, appearing to read 'Gary Anna', written over a horizontal red line.

Gary Anna  
Senior Vice President for Business Affairs  
Bradley University



## Summary of Exterior Detail for the Proposed Business & Engineering Complex

### Building Exterior Design

The dynamic form and composition of the building's exterior is an important element of this project. This design yields many components to the historic Collegiate Gothic vocabulary of the existing campus while boldly evolving that character into a skin and body that matches the modern / dynamic academic program intended for this new building.

**Building Context / Palette:** The surrounding historic campus buildings consist primarily of limestone facades. The same facades are commonly punctuated by punched window openings, beveled jambs, expressed stone water tables and projected cornices. The limestone finish is generally a ribbed texture with windows recessed within the thickness of the exterior walls. Ornamentation is typically reserved for the primary building entrances and facades frequented by pedestrians. The mass of the existing structures are generally rectilinear though several newer structures have incorporated curved elements.

**Building Palette / Mass:** The new facility will contain most of its programmatic space to the east and the west of the site with a central atrium space. This composition maximizes daylight into the building and makes the size of the building more relatable to the smaller surrounding buildings.

The majority of the walls of the first two floors of the new facility will relate to the palette and detailing of the typical historic campus limestone buildings, conceived in response to the texture and scale of the surrounding architecture. This will act as an extension of the historic structures and ensure a specific aesthetic continuity at the pedestrian levels of the existing quad.

The majority of the walls of the upper floors will rest on the limestone base. These walls are conceptually planned to be clad in a modular terra cotta rain screen system. The terra cotta will be complimentary in tone to the campus' historic limestone. An alternate metal panel material of similar tone will also be considered in lieu of terra cotta for the upper floors. See attachment for sample of the terra cotta panel system.

**Day-lighting / Transparency:** The massing of the building allows for abundant natural light. The north and south wall of the atrium will primarily be glass with a translucent frit to control sunlight. The four primary end conditions of the east and west program spaces will be a mixture of glass and vertical piers to capture views to the south Quad, Alumni Quad, and north to Main Street. The majority of the remaining walls will have punched window openings that relate to the size and shape of the surrounding building's windows.

In addition to natural daylight penetrating the building, purposefully located glazing systems will also allow the public to see in. This building has been conceived as a highly active, energetic academic facility and glazing systems will be located in a manner that allows for the outward expression of such.

## **Exterior Lighting**

The exterior lighting will be a continuation of the Bradley campus standard. Fixtures in the Quad to the South and East of the proposed Business and Engineering Complex will be full-cutoff period fixtures on a decorative pole. Existing fixtures will be reused and upgraded to LED from metal halide. Street lighting along Haussler Lane will be the campus standard street lighting fixture on a 20' pole. It will match the existing in appearance but be an LED source instead of HID. At the main entries of the building, fixtures will break from the campus standard to a more architectural rectangular pole fixture. These fixtures will be full cut-off LED to light the plazas at the north and south entries. Wall mounted companion fixtures will be provided where appropriate to light the plazas. Lighting along Main St. will still be the city cobra-head fixtures. Accent lighting will be provided to up-light selected trees in each plaza area. Full-cutoff, LED wall mounted fixtures shall be utilized in the loading dock area to provide area lighting for loading, unloading, and other activities in this area. See attached site drawings for site lighting layout detail.

## **Exterior Signage**

The exterior building signage will be a continuation of the Bradley campus standard. Signage components will consist of way finding yard signage near the entrance of the building and exterior wall signage on the north façade and south facade of the new building complex, similar in format to that of the adjacent buildings.