

**ORDINANCE 17,543**

**AN ORDINANCE APPROVINIG A SPECIAL USE IN A CLASS R-4 (SINGLE FAMILY RESIDENTIAL) DISTRICT FOR THE PROPERTY LOCATED AT 824 W MOSS AVENUE (PARCEL IDENTIFICATION NOS. 18-08-226-030 AND 18-08-226-024), PEORIA, ILLINOIS.**

WHEREAS, the property herein described is now zoned Class R-4 (Single Family Residential) District, and;

WHEREAS, said petition was directed to the Planning & Zoning Commission as directed by Section 2.9 of Appendix A, the Unified Development Code of the City of Peoria, and

WHEREAS said Planning & Zoning Commission held a public hearing on October 5, 2017, pursuant to a notice of the time and place thereof in a newspaper of general circulation in the City of Peoria, not less than fifteen (15) days nor more than thirty (30) days prior to said hearing as required by law; and no written protest was made by the owners of twenty percent (20%) of the frontage immediately adjoining or across from the frontage proposed to be altered; and

WHEREAS, said Planning & Zoning Commission has submitted its report of said hearing and the City Council finds that to permit such special use will not adversely affect the character of the neighborhood, and will not unduly burden the public utility facilities in the neighborhood;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PEORIA, ILLINOIS, AS FOLLOWS:

Section 1. That a Special Use for Townhomes is hereby approved for the following described property:

Parcel 1:

Lots 7 and 8 in Range 1 in MOSS'S ADDITION to the City of Peoria; ALSO, all of Lot 9 in Range 1 in MOSS'S ADDITION to the City of Peoria, EXCEPTING HOWEVER, 45 feet of even width by full depth of lot off the Southwesterly side thereof; EXCEPTING ALSO such portions of said Lots 7, 8, and 9 which shall be included in the right of way of Seventh Avenue and Union Street; EXCEPTING ALSO a part of Lots 7, 8 and 9 in Range One of MOSS ADDITION, a Subdivision in part of the Southeast Quarter of Section 5 and the Northeast Quarter of Section 8, Township 8 North, Range 8 East of the Fourth Principal Meridian, situate and lying in Peoria County, Illinois, being more particularly described as follows:

Commencing at the Northeasterly corner of said Lot 9, thence South 65°-30'-00" West (bearing assumed for purpose of description only), along the Northerly line of said Lot 9, 43.98 feet; thence South 28°- 45'- 43" East, 142.00 feet to the Point of Beginning of the tract to be described: From the Point of Beginning, thence North 61°- 40' - 00" East, 43.85 feet to the dividing line between Lots 8 and 9 in said MOSS ADDITION; thence South 28°- 45' - 43" East, along said dividing line, 63.79 feet; thence North 61 °- 40' - 00" East, 115.13 feet to the Southwesterly Right of Way of Union Street; thence South 28°- 20' - 00" East, along said Right of Way line, 138.00 feet; thence South 61°- 00' - 00" West, 157.95 feet; thence North 28°- 45'- 43" West, 203.63 feet to the Point of Beginning.

ALSO EXCEPTING THEREFROM:

A part of Lot 9 in Range One of MOSS ADDITION, a Subdivision in a part of the Southeast Quarter of Section 5 and the Northeast Quarter of Section 8, Township 8 North, Range 8 East of the Fourth Principal Meridian, City of Peoria, Peoria County, Illinois, more particularly described as follows:

Commencing at the Northeasterly corner of said Lot 9, thence South 65°- 30' - 00" West, (bearing assumed for purpose of description only), along the Northwesterly line of said Lot 9, 18.91 feet to the Point of Beginning

of the tract to be described: from the Point of Beginning, thence South 65° - 30' - 00" West, along said Northwesterly line, 25.07 feet; thence South 28° - 45' - 43" East, 142.00 feet thence North 61° - 40' - 00" East 25.00 feet; thence North 28° - 45' - 43" West, 140.32 feet to the Point of Beginning, situate, lying and being in the City of Peoria, County of Peoria and State of Illinois.

Parcel 2:

A part of Lots 7, 8 and 9 in Range One of MOSS ADDITION, a Subdivision in part of the Southeast Quarter of Section 5 and the Northeast Quarter of Section 8, Township 8 North, Range 8 East of the Fourth Principal Meridian, situate and lying in Peoria County, Illinois, being more particularly described as follows:

Commencing at the Northeasterly corner of said Lot 9, thence South 65° - 30' - 00" West (bearing assumed for purpose of description only), along the Northerly line of said Lot 9, 43.98 feet; thence South 28° - 45' - 43" East, 142.00 feet to the Point of Beginning of the tract to be described: From the Point of Beginning, thence North 61° - 40' - 00" East, 43.85 feet to the dividing line between Lots 8 and 9 in said MOSS ADDITION; thence South 28° - 45' - 43" East, along said dividing line, 63.79 feet; thence North 61° - 40' - 00" East, 115.13 feet to the Southwesterly Right of Way of Union Street; thence South 28° - 20' - 00" East, along said Right of Way line, 138.00 feet; thence South 61° - 00' - 00" West, 157.95 feet; thence North 28° - 45' - 43" West, 203.63 feet to the Point of Beginning, said tract containing 0.569 acres, more or less, situate, lying and being in the City of Peoria, County of Peoria and State of Illinois.

Said Ordinance is hereby approved per the submitted Site Plan Packet, and with the following conditions:

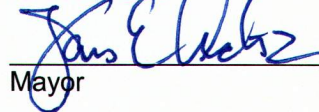
1. Approval is subject to approval of the concurrent right-of-way vacation request.
2. A revised Certificate of Appropriateness must be obtained from the Historic Preservation Commission that reflects modifications to the proposed plan herein approved that are different from that originally approved by the Historic Preservation Commission, specifically for the additional unit and carports.
3. All applicable permits are required.

Section 2. All provisions of Appendix A, the Unified Development Code of the City of Peoria, with respect to the Class R-4 (Single Family Residential) District shall remain applicable to the above-described premises, with exception to Special Use herein permitted.

Section 3. This Ordinance shall be in full force and effect from and after its passage and approval according to law.

PASSED BY THE CITY COUNCIL OF THE CITY OF PEORIA, ILLINOIS THIS 12th DAY OF  
December \_\_\_\_\_, 2017.


APPROVED:

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

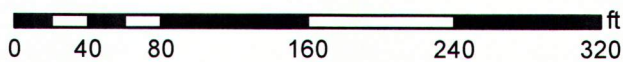
EXAMINED AND APPROVED:

  
\_\_\_\_\_  
Corporation Counsel

# 824 W Moss



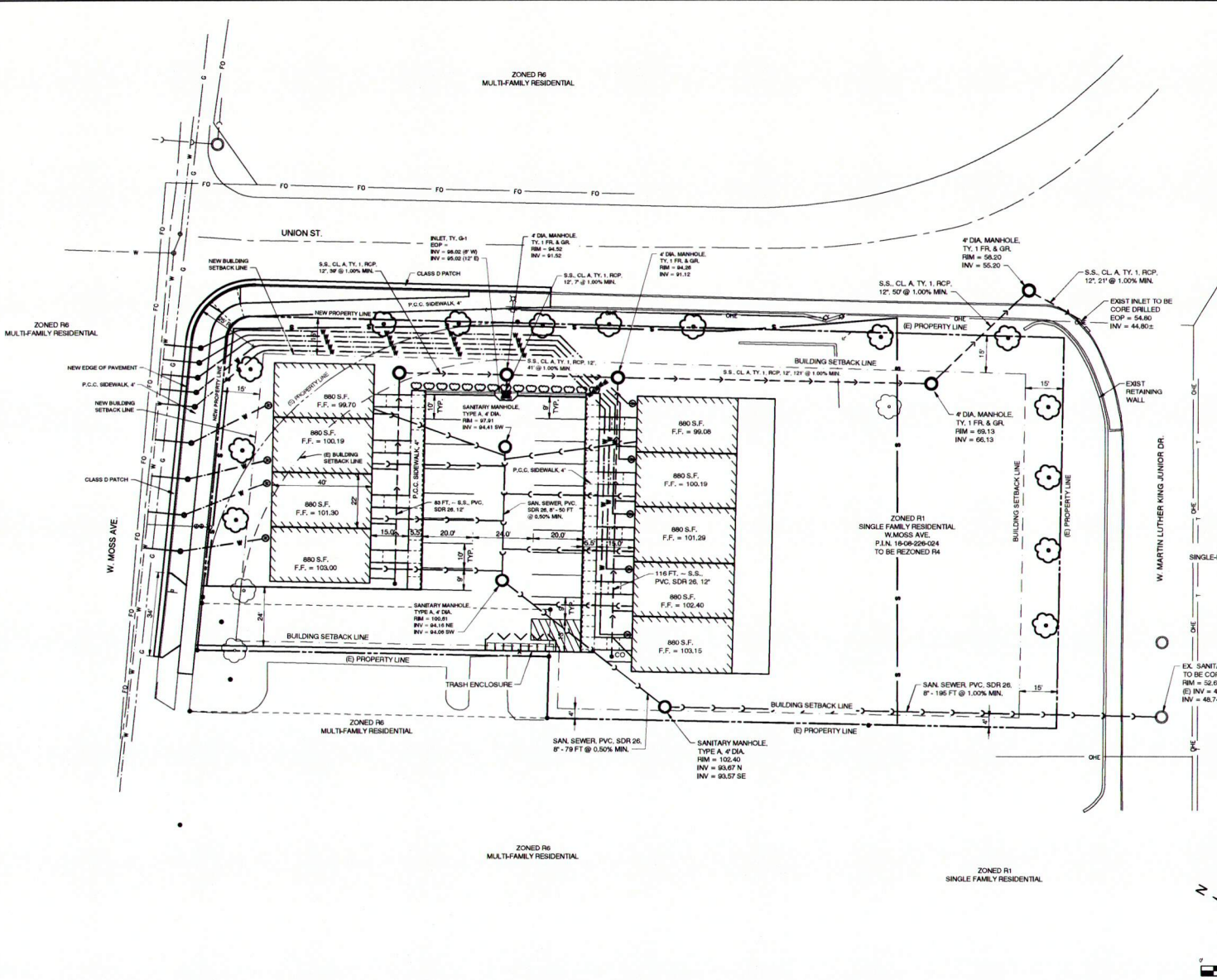
1 inch = 100 feet



Disclaimer: Data is provided 'as is' without warranty or any representation of accuracy, timeliness or completeness. The burden for determining fitness for, or the appropriateness for use, rests solely on the requester. The requester acknowledges and accepts the limitations of the Data, including the fact that the Data is in a constant state of maintenance. This website is NOT intended to be used for legal litigation or boundary disputes and is informational only. -Peoria County GIS Division

Peoria County, IL, HERE, USGS





**PARKING**  
**RESIDENTIAL:**  
 2 SPACES PER UNIT  
 9 UNITS = 18 SPACES  
 TOTAL REQUIRED PARKING SPACES = 18 SPACES  
 TOTAL SPACES PROVIDED = 18 SPACES

**LIGHTING**  
 NEW LIGHTING WILL NOT EXCEED 0.5  
 FOOT CANDLES AT PROPERTY LINE

**ADJACENT USES**  
 ALL ADJACENT PROPERTIES ARE ZONED R1, R4 AND R6  
 AND ARE RESIDENTIAL USE

**LANDSCAPE**  
 W. MOSS AVE. FRONTAGE = 141 FT. - 71 POINTS  
 UNION ST. FRONTAGE = 324 FT. - 162 POINTS  
 W. MARTIN LUTHER KING JUNIOR DR. FRONTAGE = 158 FT. - 79 POINTS  
 TOTAL POINTS REQUIRED = 312 POINTS PROVIDED

3 EXISTING SHADE TREES = 60 POINTS  
 13 NEW SHADE TREES = 260 POINTS  
 TOTAL = 320 POINTS PROVIDED

PARKING = 18 SPACES - 18 POINTS REQUIRED  
 1 NEW SHADE TREES = 20 POINTS PROVIDED

SHADE TREES - 20 POINTS

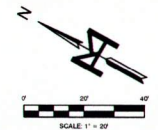
**TRAFFIC GENERATION**  
 BASED ON THE ITE MANUAL LAND USE: (230) RESIDENTIAL  
 CONDOMINIUM/TOWNHOUSE  
 NUMBER OF DWELLING UNITS = 9 UNITS  
 BASED UPON THE ITE MANUAL FOR LAND USE: (230) AND DWELLING UNITS,  
 THE FOLLOWING TRAFFIC GENERATION HAS BEEN CALCULATED:

WEEKDAY A.M. PEAK HOUR VEHICLE TRIP ENDS - 4 VEHICLES  
 WEEKDAY P.M. PEAK HOUR VEHICLE TRIP ENDS - 4 VEHICLES  
 TOTAL TRIP ENDS - 8 VEHICLES

**ZONING**  
 EXISTING LOT ZONED R1, SINGLE FAMILY RESIDENTIAL  
 PROPOSED LOT ZONED R4 WITH SPECIAL USE FOR TOWNHOUSES

**LOTS**  
 TAX ID NO. 18-08-228-030 824 W. MOSS AVE.  
 18-08-228-024 W. MOSS AVE.

**SETBACKS - R4 (BUILDING/PARKING)**  
 FRONT = 15'  
 SIDE = 4'



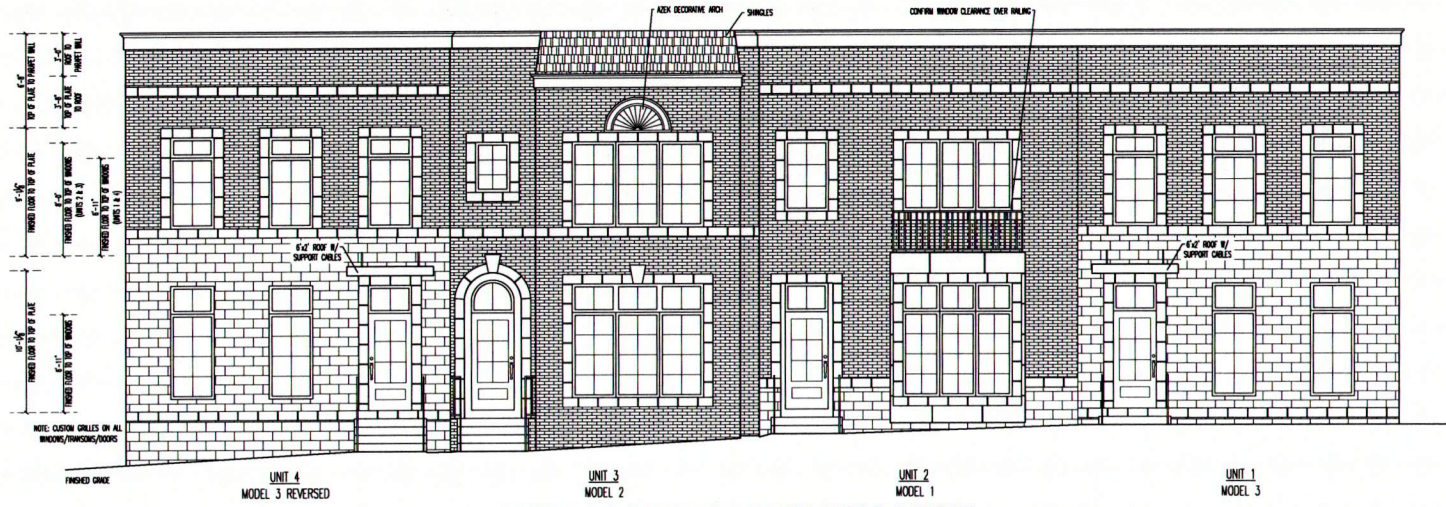
PRELIMINARY ONLY  
 NOT FOR CONSTRUCTION

**M MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.**  
 5301 N Prospect Road, Suite 65 Peoria, Illinois 61614  
 Office: (309) 692-8500 Fax: (309) 692-8501  
 Professional Design Firm #184.005001

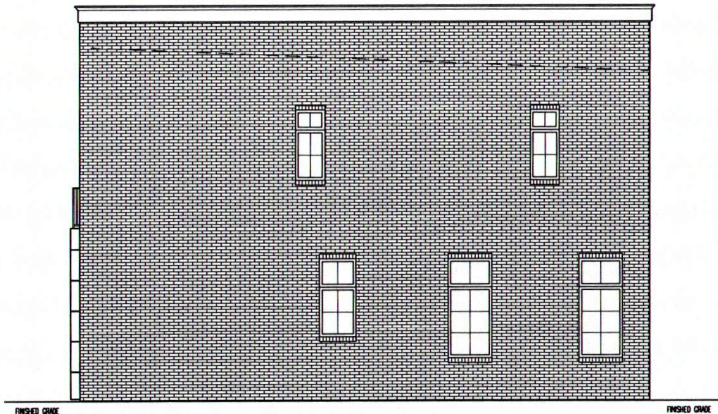
REV.	DATE	NATURE OF REVISION	CHECKED	DATE

SURVEYED	CTG	CLIENT	TITLE
DRAWN	MTH	SCOTT LEWIS HOMES	ZONING EXHIBIT
CHECKED	SKK		
SCALE	1" = 20'		
DATE	11-21-17		

PROJECT NO.	17-164
SHEET	1 OF 1
DRAWING NO.	1



UNITS 1-4: NORTH ELEVATION (MOSS AVENUE)  
SCALE: 1/4" = 1'-0"



UNITS 1-4: WEST ELEVATION  
SCALE: 1/4" = 1'-0"


FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

This plan is the property of Scott Lewis Homes, Inc.  
It may not be copied, duplicated or built without  
written consent of Scott Lewis Homes, Inc.

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.  
IN THE EVENT OF ANY DISCREPANCIES OR OMISSIONS IN THIS SET OF DRAWINGS, THE CONTRACTOR SHOULD NOTIFY Benchmark Residential Design BEFORE PROCEEDING WITH WORK.


REVISION DATES

SHEET	1
	OF 12
PROJECT	17-011
SCALE	1/4" = 1'-0"
DRAWN BY	Kristi Bruch
DATE	01Dec2017

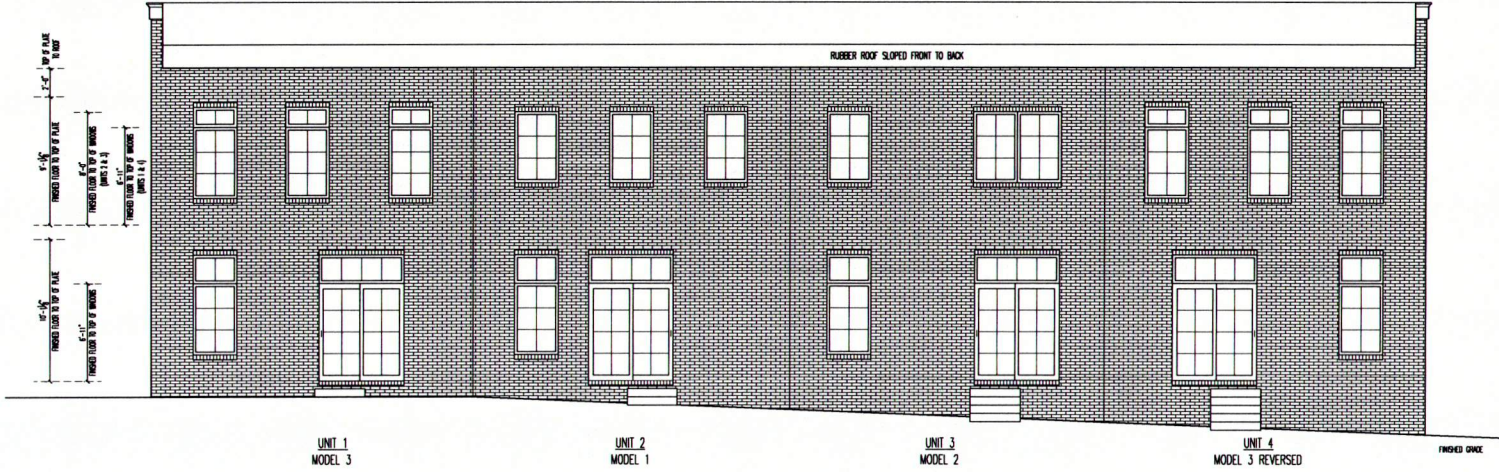


**Scott Lewis Homes, Inc.**  
8305 N. Allen Road, Suite 5  
Peoria, IL 61615  
(309) 689-3410

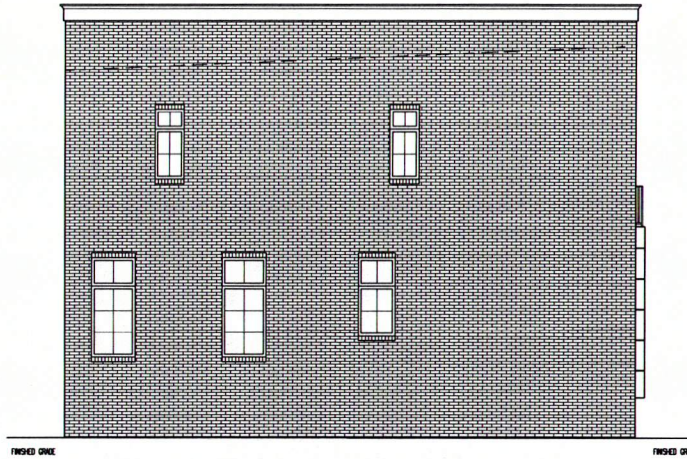
*Boundaries on Main*  
Peoria, Illinois



**Benchmark**  
Residential Design  
12888 Rocky Pointe Rd  
McCordsville, IN 46055  
(317) 335-3307



**UNITS 1-4: SOUTH ELEVATION (FACING PARKING LOT)**  
SCALE: 1/4" = 1'-0"



**UNITS 1-4: EAST ELEVATION (UNION STREET)**  
SCALE: 1/4" = 1'-0"

FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

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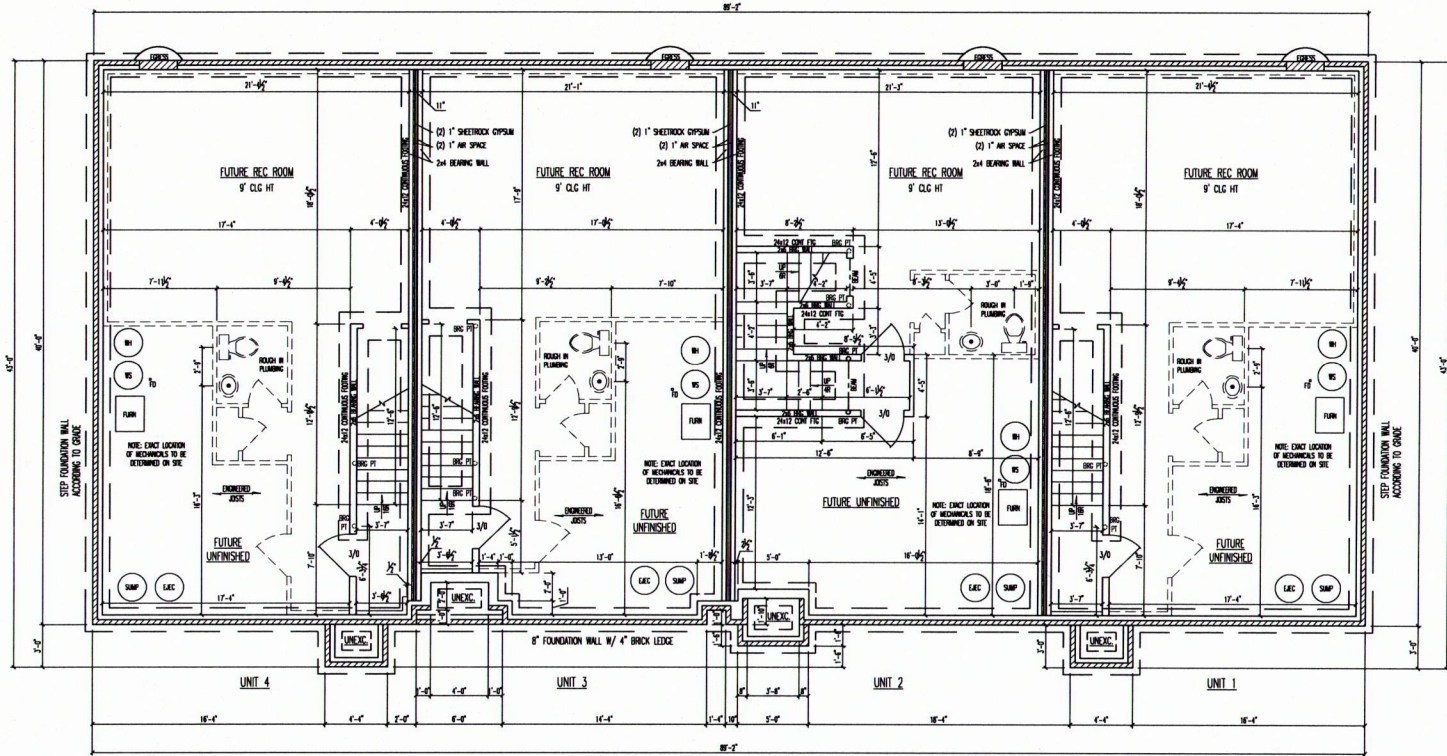
STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE ARCHITECT.  
IT IS THE ARCHITECT'S RESPONSIBILITY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.  
IN THE EVENT OF ANY DISCREPANCIES OR ERRORS FOUND IN THE DRAWING, THE ARCHITECT SHALL BE RESPONSIBLE FOR CORRECTING BEFORE PROCEEDING WITH WORK.

REVISION DATES

PROJECT 17-011	SCALE 1/4" = 1'-0"
	DATE 01Dec2017
DRAWN BY Kristi Bruch	SHEET 2
	OF 12

**Scott Lewis Homes, Inc.**  
8300 N. Allen Road, Suite 5  
P.O. Box 16  
(308) 689-3410  
*Brownsville on Main*  
Brownsville, Missouri

**Benchmark Residential Design**  
1799B Rocky Pointe Rd.  
McCordsville, IN 46055  
(317) 335-3307



UNITS 1-4: FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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FOUNDATION PLAN NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF THE FOUNDATION WALL, UNLESS OTHERWISE NOTED.
2. ALL FOUNDATION WALLS TO BE 8" W x 9'-0" HI POURED CONCRETE, UNLESS OTHERWISE NOTED.
3. ALL FOOTINGS UNDER FOUNDATION WALLS TO BE 20" W x 8" D, UNLESS OTHERWISE NOTED.
4. ALL INTERIOR FOOTINGS TO BE 24" W x 12" D.
5. ALL WINDOWS AT 6'-11" HI, UNLESS OTHERWISE NOTED.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
7. CONTRACTOR TO VERIFY EXISTING GRADE AND STEP FOOTINGS & FOUNDATION WALLS AS REQUIRED.
8. BEAMS, POSTS & PINS TO BE SIZED BY GENERAL CONTRACTOR.

FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

REVISION DATES

SHEET		3		OF 12	
PROJECT	SCALE	DATE	DATE	DATE	DATE
17-011	3/4" = 1'-0"				
DRAWN BY	DATE	DATE	DATE	DATE	DATE
Kristi Bruch					01-Dec-2017

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES. STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER. IN THE EVENT OF ANY DISCREPANCIES OR ERRORS FOUND IN THE DRAWING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING BEFORE PROCEEDING WITH WORK.

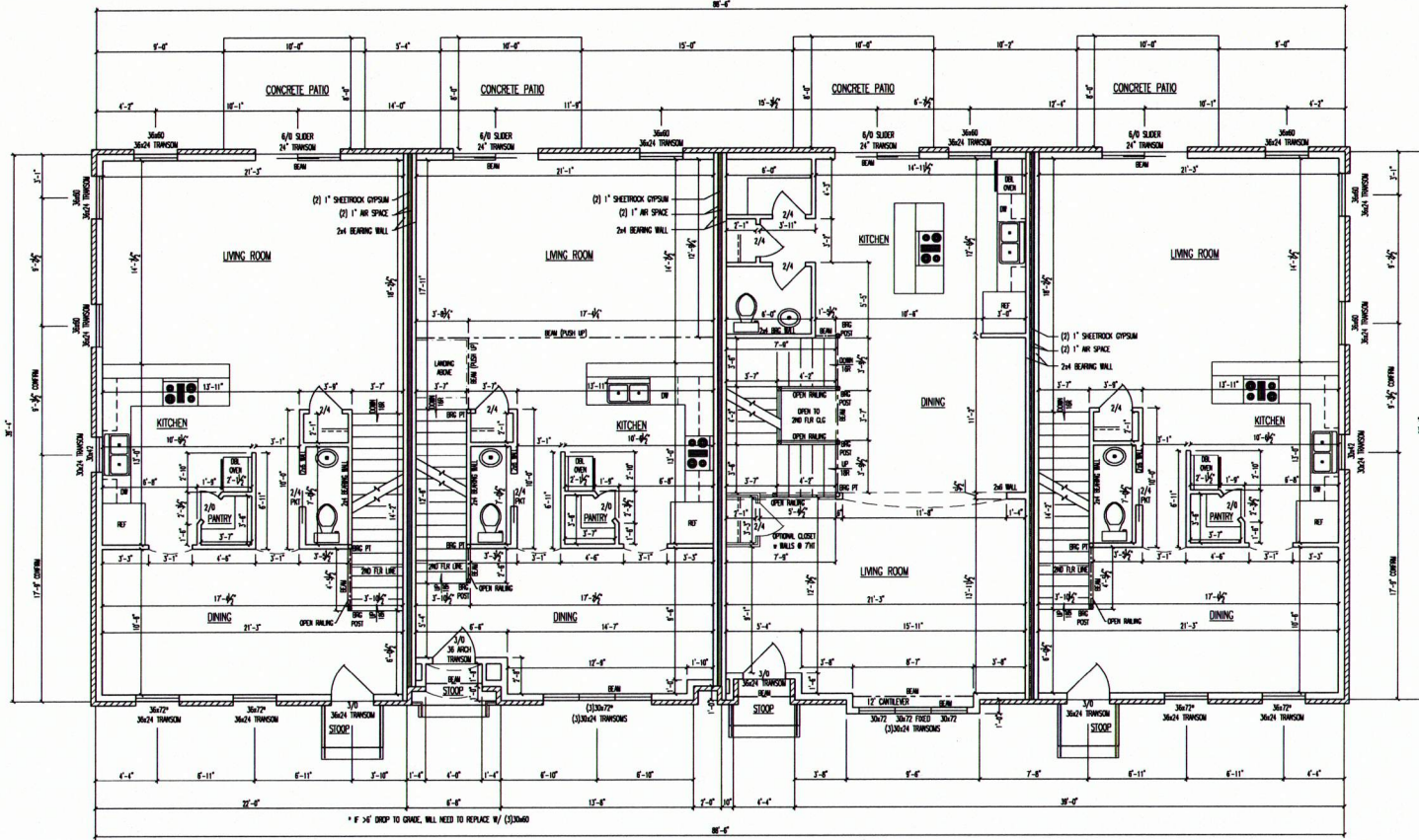


Scott Lewis Homes, Inc.  
 8305 N. Allen Road, Suite 5  
 Indianapolis, IN 46255  
 (317) 688-5415  
 (317) 688-5416

Representatives on Mass  
 Permit, Illinois



Benchmark  
 Residential Design  
 12988 Rocky Pointe Rd.  
 McCordsville, IN 46055  
 (317) 335-3307



**UNIT 4**  
 FIRST FLOOR LIVING AREA: 866 SQ. FT.  
 SECOND FLOOR LIVING AREA: 823 SQ. FT.  
 TOTAL: 1689 SQ. FT.

**UNIT 3**  
 FIRST FLOOR LIVING AREA: 834 SQ. FT.  
 SECOND FLOOR LIVING AREA: 822 SQ. FT.  
 TOTAL: 1656 SQ. FT.

**UNIT 2**  
 FIRST FLOOR LIVING AREA: 861 SQ. FT.  
 SECOND FLOOR LIVING AREA: 799 SQ. FT.  
 TOTAL: 1660 SQ. FT.

**UNIT 1**  
 FIRST FLOOR LIVING AREA: 866 SQ. FT.  
 SECOND FLOOR LIVING AREA: 823 SQ. FT.  
 TOTAL: 1689 SQ. FT.

**UNITS 1-4: FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

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**FIRST FLOOR PLAN NOTES:**

1. ALL EXTERIOR WALLS TO BE 2x6 STUDS (DRAWN 5-1/2" WIDE) UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS TO BE 2x4 STUDS (DRAWN 3-1/2" WIDE) UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS TO FACE OF STUD.
4. ALL WALL HEIGHTS TO BE 10'-1 1/2" UNLESS OTHERWISE NOTED.
5. ALL WINDOW HEIGHTS AT 6'-11" UNLESS OTHERWISE NOTED.
6. ALL INTERIOR DOORS AT 8' HIT OR WITH TRANSOMS ABOVE.
7. BEAMS TO BE SIZED BY GENERAL CONTRACTOR.

FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

REVISION	DATE

SHEET  
**4**  
 OF 12

PROJECT: 17-011  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: Kriati Bruch  
 DATE: 01 Dec 2017

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
 STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.  
 IN THE EVENT OF ANY DISCREPANCIES OR OMISSIONS FROM THIS DRAWING, THE GENERAL CONTRACTOR SHOULD NOTIFY Benchmark Residential Design BEFORE PROCEEDING WITH WORK.

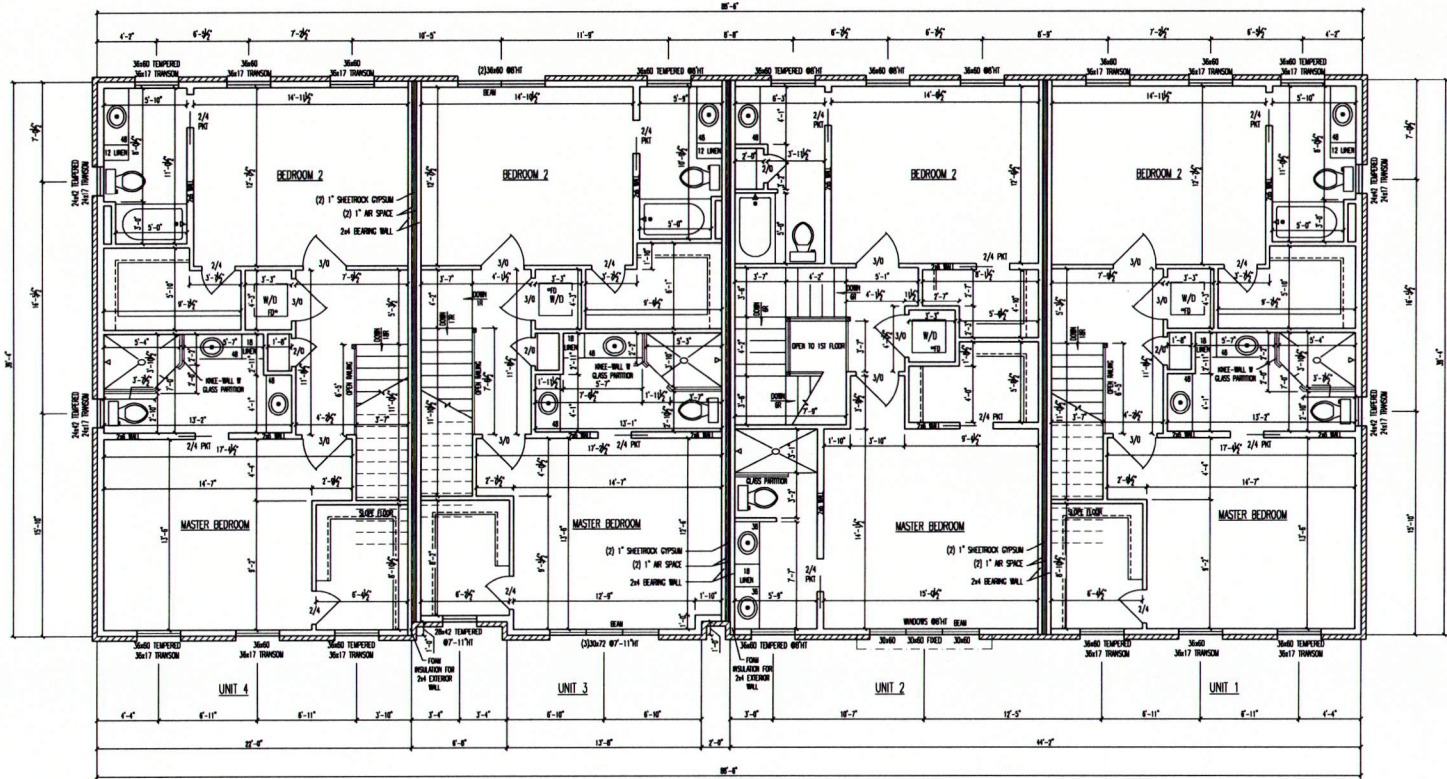


**Scott Lewis Homes, Inc.**  
 8305 N. Allen Road, Suite 5  
 Peoria, IL 61615  
 (309) 689-3410  
*Brownstones on Mason*  
 Peoria, Illinois



**Benchmark**  
 Residential Design  
 12808 Rocky Pointe, Bldg.  
 McCordsville, IN 46055  
 (317) 335-3307





UNITS 1-4: SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN NOTES:

1. ALL EXTERIOR WALLS TO BE 2x4 STUDS (DRAWN 5'-1/2" WIDE) UNLESS OTHERWISE NOTED.
  2. ALL INTERIOR WALLS TO BE 2x4 STUDS (DRAWN 3'-1/2" WIDE) UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS TO FACE OF STUD.
  4. ALL WALL HEIGHTS TO BE 9'-1 1/8" UNLESS OTHERWISE NOTED.
  5. ALL WINDOW HEIGHTS AT 6'-11" UNLESS OTHERWISE NOTED.
  6. BEAMS TO BE SIZED BY GENERAL CONTRACTOR.
- FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

REVISION DATES

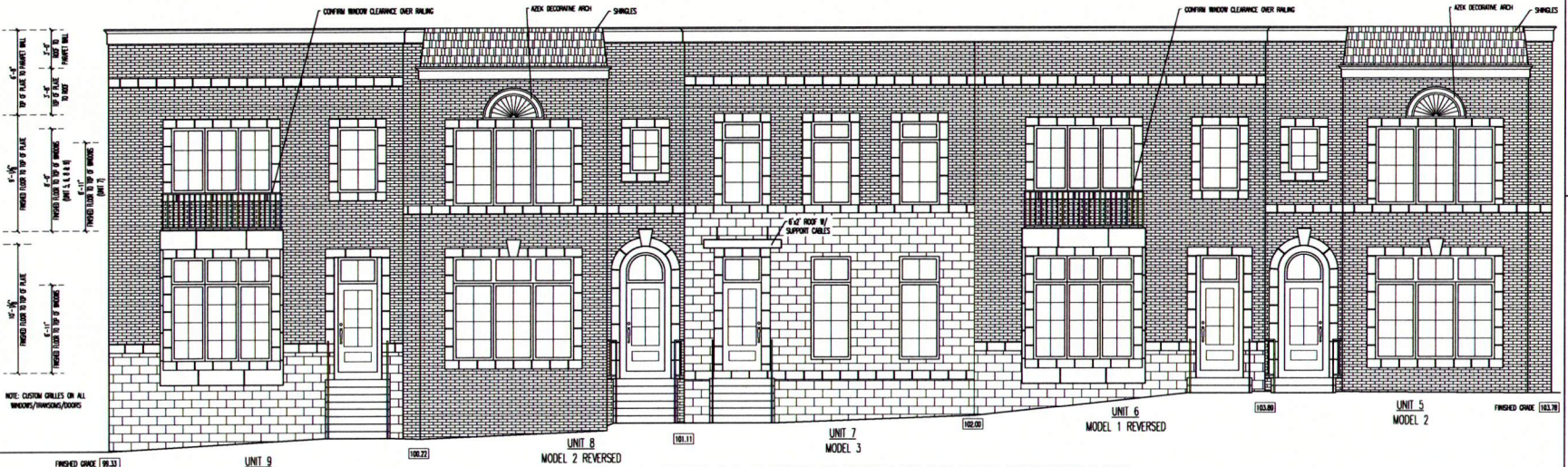
SHEET	5	SCALE	1" = 1'-0"
PROJECT	17-011	DRAWN BY	Kristi Bruch
		DATE	01 Dec 2017

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES. STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER. IN THE EVENT OF ANY DISCREPANCIES OR OMISSIONS FROM THIS DOCUMENT, THE GENERAL CONTRACTOR SHOULD NOTIFY Benchmark Residential Design BEFORE PROCEEDING WITH WORK.

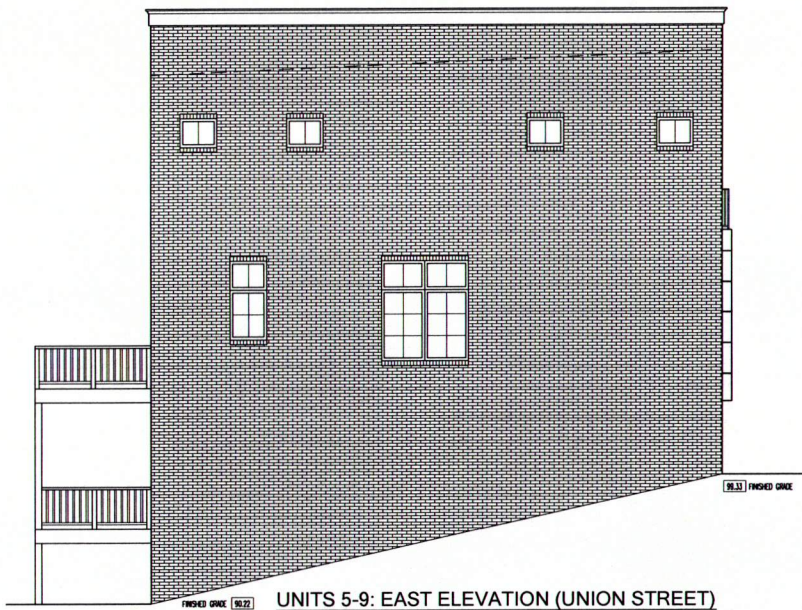


Scott Lewis Homes, Inc.  
8305 N. Allen Road, Suite 5  
Peoria, IL 61615  
(309) 689-3410

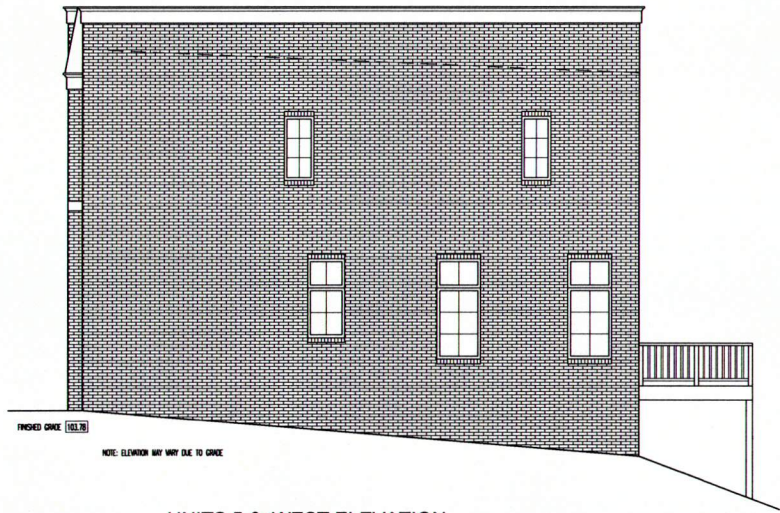
Benchmark Residential Design  
12988 Rocky Pointe Rd  
McCardaryville, IN 46055  
(317) 335-1307



UNITS 5-9: NORTH ELEVATION (FACING PARKING LOT)  
SCALE: 1/4" = 1'-0"



UNITS 5-9: EAST ELEVATION (UNION STREET)  
SCALE: 1/4" = 1'-0"



UNITS 5-9: WEST ELEVATION  
SCALE: 1/4" = 1'-0"

FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

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**Benchmark**  
Residential Design  
12988 Busy Park Rd  
McCordsville, IN 46055  
(317) 335-1307

**Scott Lewis Homes, Inc.**  
8305 N. Allen Road, Suite 5  
Peoria, IL 61615  
(309) 688-3410  
*Brownstone on Mason  
Peoria, Illinois*

REVISION	DATE

SHEET  
**6**  
OF 12

PROJECT: 17-011  
SCALE: 1/4" = 1'-0"  
DRAWN BY: Kriati Bruch  
DATE: 01 Dec 2017

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.  
IN THE EVENT OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHOULD NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.




UNITS 5-9: SOUTH ELEVATION (MLK Jr DRIVE)  
SCALE: 1/4" = 1'-0"

FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

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written consent of Scott Lewis Homes, Inc.



**Benchmark**  
Residential Design  
12998 Rocky Pointe Rd.  
McConsville, IN 46055  
(317) 335-3307



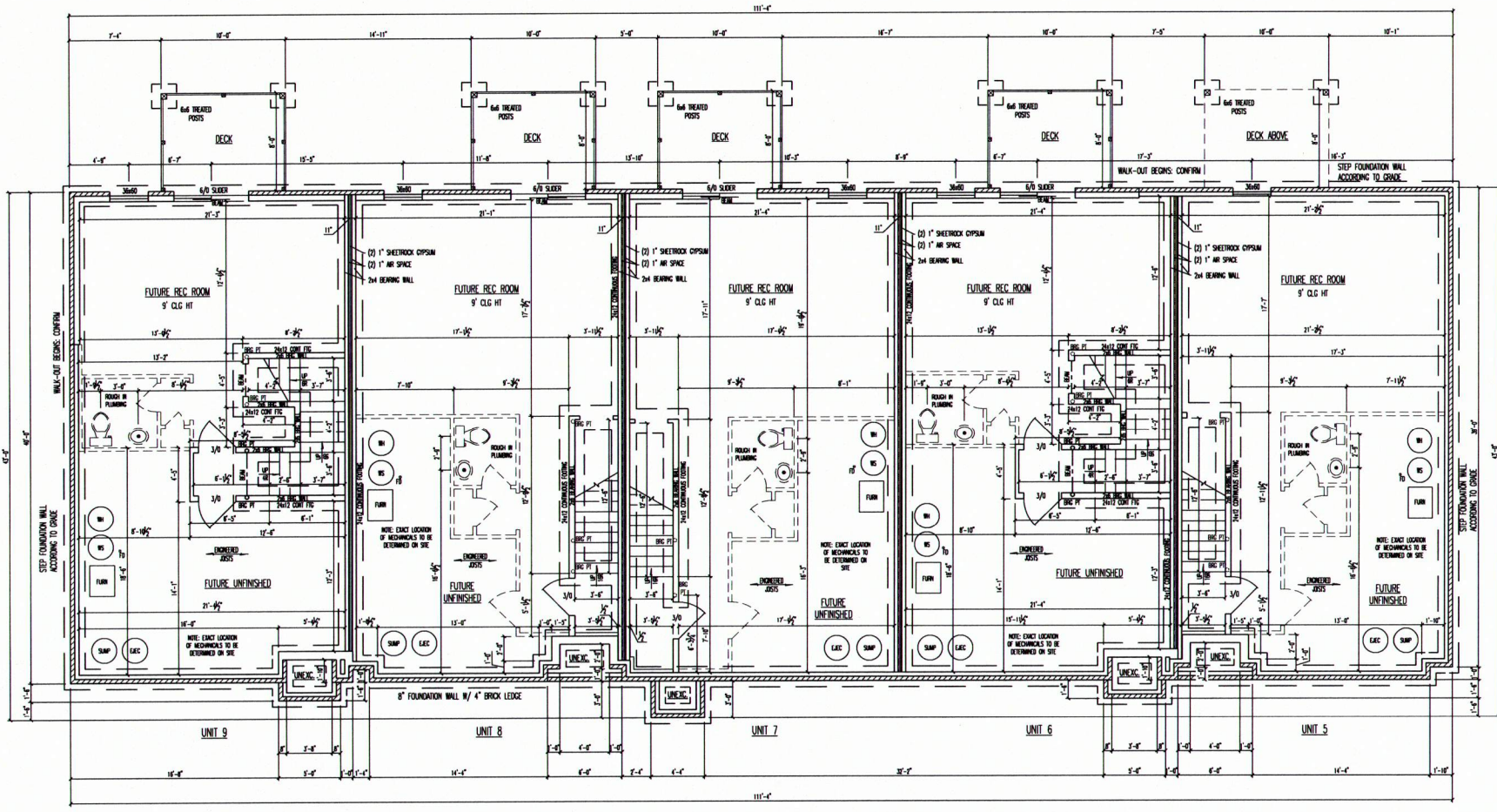
*Scott Lewis Homes, Inc.*  
8300 N. Allen Road, Suite 5  
(309) 889-3410  
*Boundaries in Mass  
Parade, Mass*

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE DESIGNER. CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.  
IN THE EVENT OF ANY DISCREPANCIES OR ERRORS FOUND IN THE DRAWING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.

REVISION DATES

**SHEET**  
7  
**OF 12**

PROJECT	SCALE	DATE
17-011	1/4" = 1'-0"	01Dec2017
DRAWN BY	Kristi Bruch	

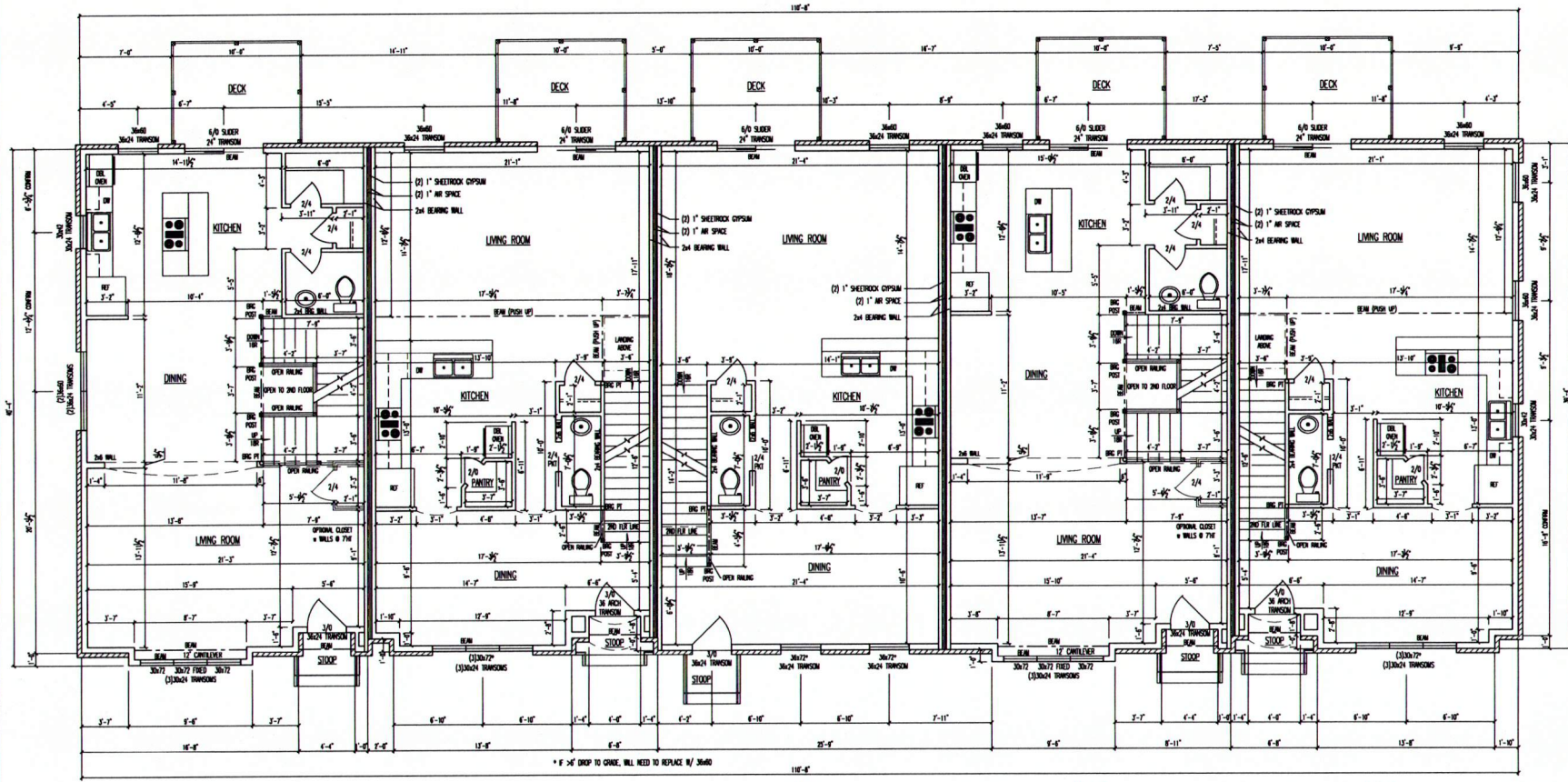


UNITS 5-9: FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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- FOUNDATION PLAN NOTES:**
1. ALL DIMENSIONS ARE TO THE FACE OF THE FOUNDATION WALL, UNLESS OTHERWISE NOTED.
  2. ALL FOUNDATION WALLS TO BE 8"W x 8'-0"H POURED CONCRETE, UNLESS OTHERWISE NOTED.
  3. ALL FOOTINGS UNDER FOUNDATION WALLS TO BE 20"W x 8"D, UNLESS OTHERWISE NOTED.
  4. ALL INTERIOR FOOTINGS TO BE 24"W x 12"D.
  5. ALL WINDOWS AT 6'-11" HI, UNLESS OTHERWISE NOTED.
  6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
  7. CONTRACTOR TO VERIFY EXISTING GRADE, AND STEP FOOTINGS & FOUNDATION WALLS AS REQUIRED.
  8. BEAMS, POSTS & PAIRS TO BE SIZED BY GENERAL CONTRACTOR.
- FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

<p>Benchmark Residential Design 12988 Rocky Pointe Rd. McCordsville, IN 46055 (317) 338-3307</p>	
<p>Scott Lewis Homes, Inc. 8305 N. Allen Road, Suite 5 Peoria, IL 61615 (309) 689-3410 Bourbonnais on Main Peoria, Illinois</p>	
<p>STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES. STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER. ENGINEER OR ARCHITECT IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR ERRORS EVEN IF THEY ARE IDENTIFIED BY THE CONTRACTOR. CONTRACTOR SHOULD NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH WORK.</p>	
REVISION DATES	
SHEET	8 OF 12
PROJECT	17-011
DRAWN BY	Kristi Bruch
DATE	01Dec2017



**UNIT 9**  
 FIRST FLOOR LIVING AREA: 867 SQ. FT.  
 SECOND FLOOR LIVING AREA: 778 SQ. FT.  
 TOTAL: 1645 SQ. FT.

**UNIT 8**  
 FIRST FLOOR LIVING AREA: 834 SQ. FT.  
 SECOND FLOOR LIVING AREA: 863 SQ. FT.  
 TOTAL: 1697 SQ. FT.

**UNIT 7**  
 FIRST FLOOR LIVING AREA: 862 SQ. FT.  
 SECOND FLOOR LIVING AREA: 821 SQ. FT.  
 TOTAL: 1683 SQ. FT.

**UNIT 6**  
 FIRST FLOOR LIVING AREA: 864 SQ. FT.  
 SECOND FLOOR LIVING AREA: 773 SQ. FT.  
 TOTAL: 1637 SQ. FT.

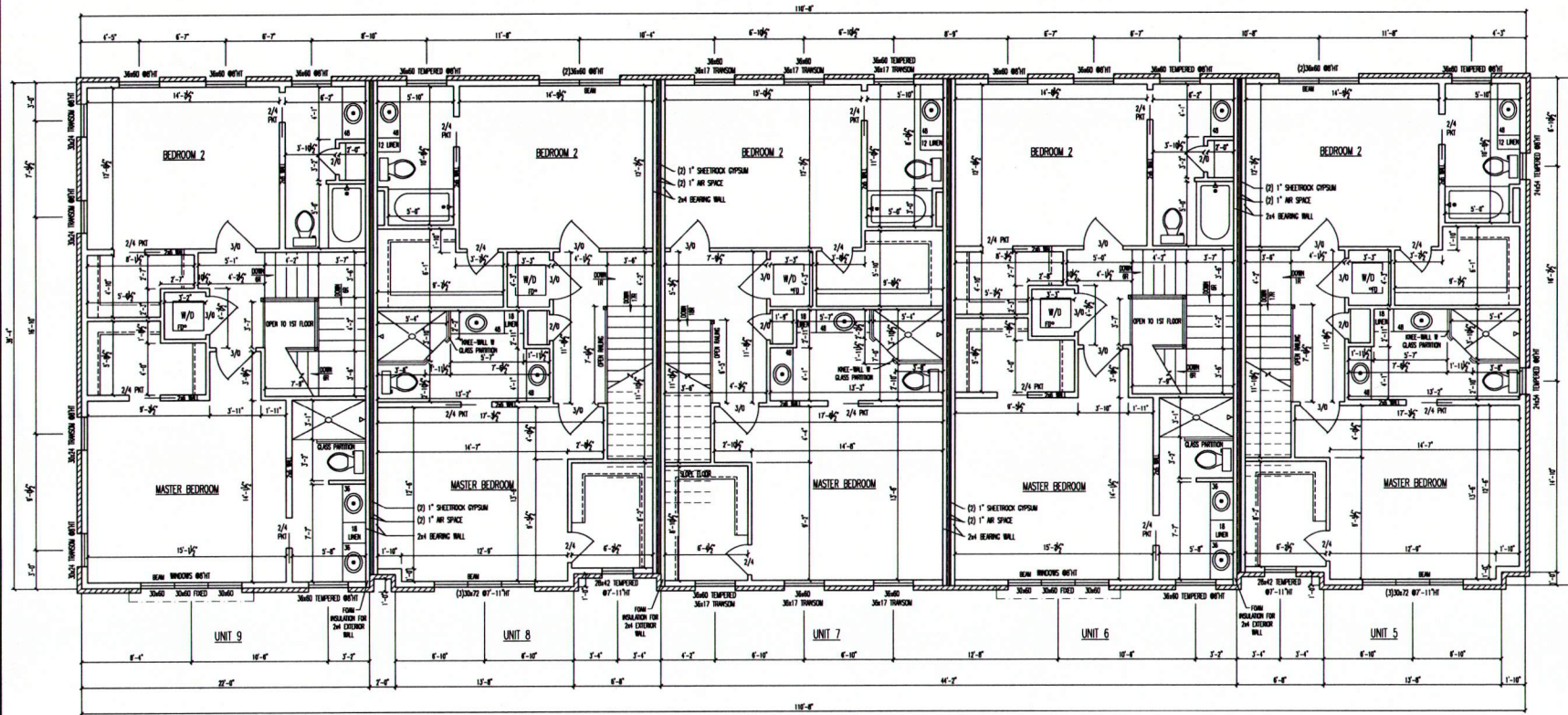
**UNIT 5**  
 FIRST FLOOR LIVING AREA: 840 SQ. FT.  
 SECOND FLOOR LIVING AREA: 809 SQ. FT.  
 TOTAL: 1649 SQ. FT.

**UNITS 5-9: FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

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**FIRST FLOOR PLAN NOTES:**  
 1. ALL EXTERIOR WALLS TO BE 2x6 STUDS (DRAWN 5-1/2" WIDE) UNLESS OTHERWISE NOTED.  
 2. ALL INTERIOR WALLS TO BE 2x4 STUDS (DRAWN 3-1/2" WIDE) UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS TO FACE OF STUD.  
 4. ALL WALL HEIGHTS TO BE 10'-1 1/2" UNLESS OTHERWISE NOTED.  
 5. ALL WINDOW HEIGHTS TO BE 6'-11" UNLESS OTHERWISE NOTED.  
 6. ALL INTERIOR DOORS AT 6' HT OR WITH TRANSOMS ABOVE.  
 7. BEAMS TO BE SIZED BY GENERAL CONTRACTOR.  
 FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

<p><b>Benchmark</b> Residential Design 12888 Rocky Pointe Rd McCordsville, IN 46055 (317) 338-3307</p>	
<p><i>Scott Lewis Homes, Inc.</i> 8305 N. Allen Road, Suite 5 Peoria, IL 61615 (309) 689-3410</p> <p><i>Brownstone on Mason</i> Peoria, Illinois</p>	
<p>STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES. STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER.</p> <p>IN THE EVENT OF ANY DISCREPANCIES OR OMISSIONS, THE CONTRACTOR SHALL NOTIFY BENCHMARK RESIDENTIAL DESIGN BEFORE PROCEEDING WITH WORK.</p>	
REVISION DATES	
SHEET	9 OF 12
PROJECT	17-011
SCALE	1" = 0'-0"
DRAWN BY	Kristi Bruch
DATE	10/Dec/2017



UNITS 5-9: SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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- SECOND FLOOR PLAN NOTES:**
1. ALL EXTERIOR WALLS TO BE 2x6 STUDS (DRAWN 3/1/2" WIDE) UNLESS OTHERWISE NOTED.
  2. ALL INTERIOR WALLS TO BE 2x4 STUDS (DRAWN 3/1/2" WIDE) UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS TO FACE OF STUD.
  4. ALL WALL HEIGHTS TO BE 9'-1 1/8" UNLESS OTHERWISE NOTED.
  5. ALL WINDOW HEIGHTS AT 6'-11" UNLESS OTHERWISE NOTED.
  6. BEAMS TO BE SIZED BY GENERAL CONTRACTOR.
- FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11

REVISION DATES

SHEET		
10 OF 12		
PROJECT	SCALE	DATE
17-011	1/4" = 1'-0"	
DRAWN BY		
Kristi Bruch		01Dec2017

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES. STRUCTURAL INTEGRITY IS THE RESPONSIBILITY OF THE CONTRACTOR. IF QUESTIONS ARISE, IT MAY BE NECESSARY TO CONSULT AN ARCHITECT OR A STRUCTURAL ENGINEER. IN THE EVENT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHOULD NOTIFY Benchmark Residential Design BEFORE PROCEEDING WITH WORK.



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Peoria, Illinois

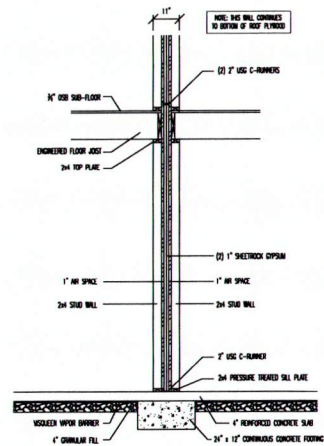


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McCardville, IN 46055  
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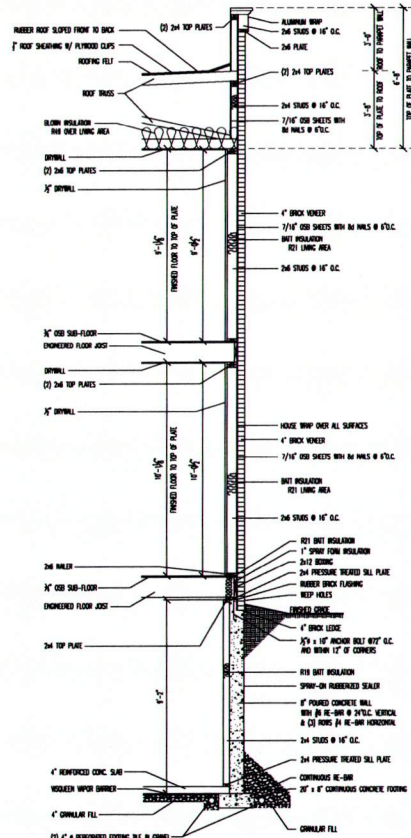
GENERAL NOTES:

1. ALL ELECTRICAL WORK, EQUIPMENT, INSTALLATIONS AND SYSTEMS SHALL BE FURNISHED, INSTALLED AND COMPLETED IN STRICT ACCORDANCE WITH ALL PROVISIONS SET FORTH IN THE NATIONAL ELECTRICAL CODE, CURRENT EDITION, AS PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION.
2. ALL PLUMBING FIXTURES, WORK, EQUIPMENT, MATERIALS, INSTALLATIONS AND SYSTEMS SHALL BE FURNISHED, INSTALLED AND COMPLETED IN STRICT ACCORDANCE WITH CURRENT PLUMBING RULES AND REGULATIONS SET UP BY STATE AND LOCAL BUILDING CODES.
3. ALL HEATING/AIR CONDITIONING WORK, EQUIPMENT, MATERIALS, INSTALLATIONS AND SYSTEMS SHALL BE FURNISHED, INSTALLED AND COMPLETED IN STRICT ACCORDANCE WITH CURRENT HEATING, VENTILATING AND AIR CONDITIONING RULES AND REGULATIONS SET UP BY STATE AND LOCAL BUILDING CODES.
4. ALL MATERIALS SHALL BE FURNISHED, ALL SYSTEMS INSTALLED, AND ALL WORK COMPLETED IN STRICT ACCORDANCE WITH ALL PROVISIONS SET FORTH IN THE NFPA 101 LIFE SAFETY CODE, CURRENT EDITION, AS PUBLISHED BY THE NATIONAL FIRE PROTECTION ASSOCIATION, AND WITH OTHER STATE AND LOCAL CODES WHICH MAY PREvail.
5. WRITTEN DIMENSIONS OF THESE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB.
6. ALL STRUCTURAL DETAILS AND MATERIALS ARE TO SERVE AS AN AID TO THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL STRUCTURAL DETAILS AND MATERIALS.
7. THE BEAM, COLUMN AND FOOTING LOCATIONS AS SHOWN MAY VARY FROM THE ACTUAL LOCATIONS AS SPECIFIED BY THE JOIST MANUFACTURER. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE SIZE AND LOCATIONS OF ALL BEAMS, COLUMNS AND FOOTINGS ON THE JOB SITE.
8. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME ARE IN CONFLICT.
9. GENERAL CONTRACTOR, WINDOW MANUFACTURER AND DOOR MANUFACTURER TO CONFIRM ROUGH OPENINGS, EGRESS REQUIREMENTS, AND TEMPERING REQUIREMENTS AS SET FORTH BY STATE AND LOCAL BUILDING CODES AND THE STATE FIRE MARSHALL'S OFFICE.
10. THIS PLAN, AND ALL DRAWINGS AND SPECIFICATIONS RELATED THERETO, IS LIMITED TO A SPECIFIC PROJECT OF THE PURCHASER AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY REUSE OF SHAD PLANS IS STRICTLY PROHIBITED WITHOUT SPECIFIC WRITTEN CONSENT OF Benchmark Residential Design.

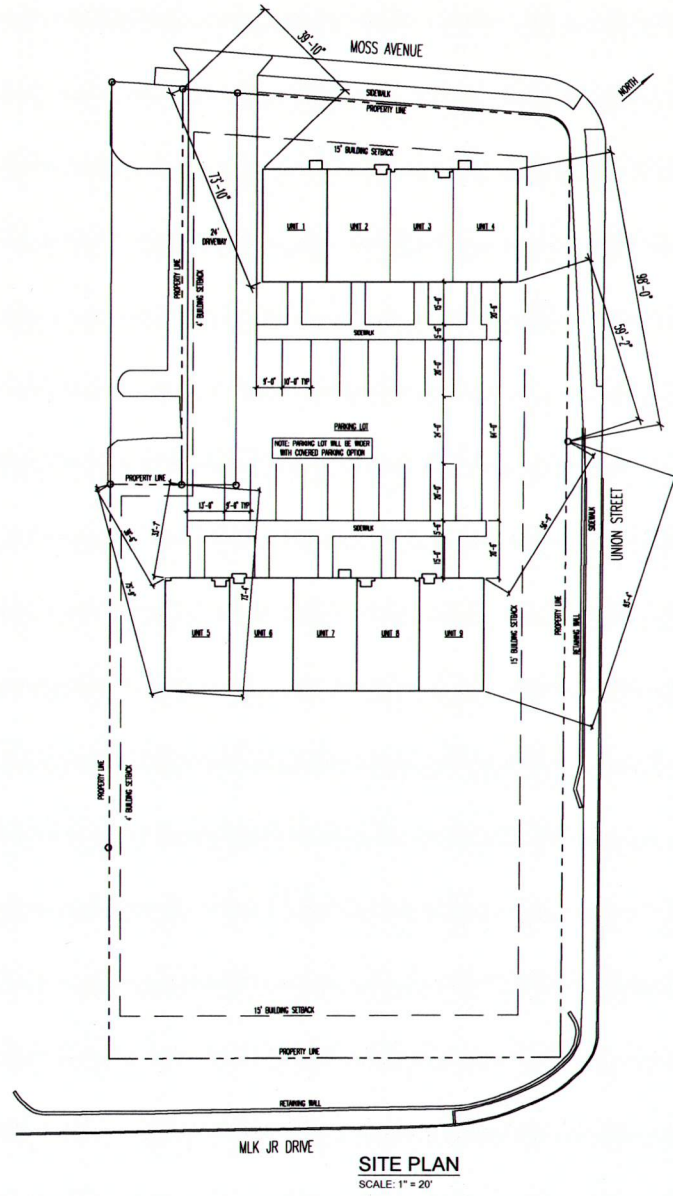
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INTERIOR WALL SECTION  
SCALE: 1/2" = 1'-0"



EXTERIOR WALL SECTION  
SCALE: 3/8" = 1'-0"



SITE PLAN  
SCALE: 1" = 20'

STRUCTURE MUST MEET ALL LOCAL AND STATE BUILDING CODES.  
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IN THE EVENT OF ANY DISCREPANCIES OR ERRORS FOUND IN THE DRAWING, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.

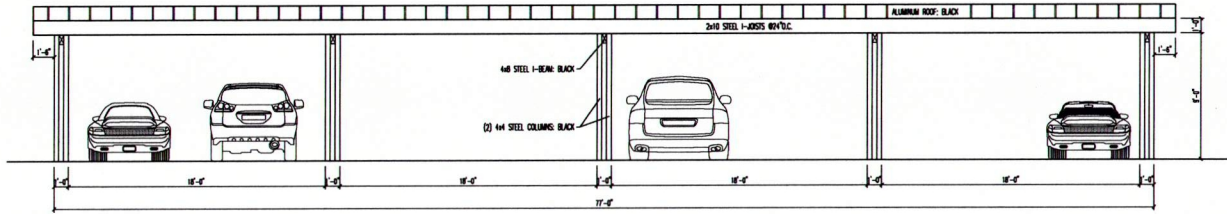
REVISION	DATE

SHEET 11 OF 12  
PROJECT 17-011  
SCALE AS INDICATED  
DRAWN BY DATE  
Kirsti Bruch 01Dec2017

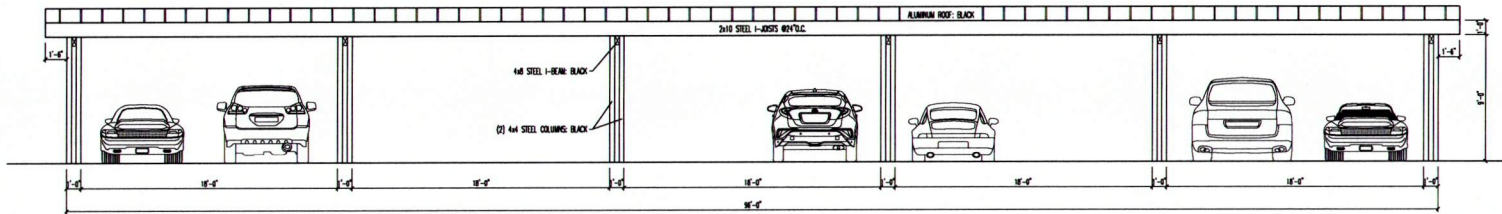
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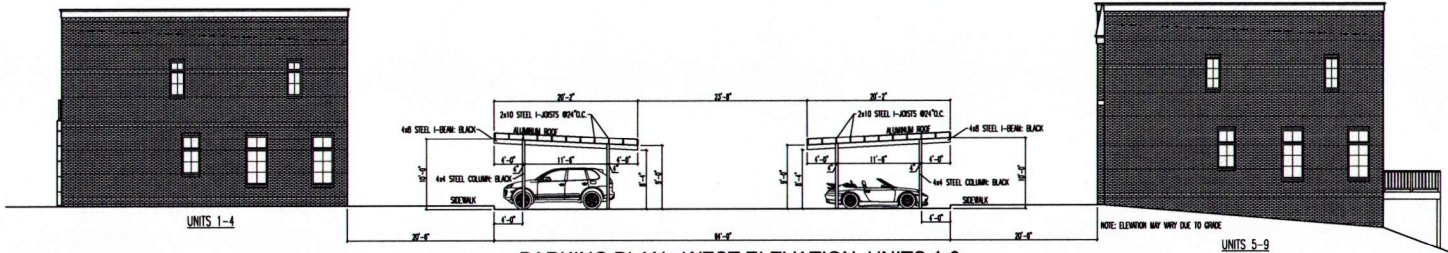
COVERED PARKING OPTION PLAN



PARKING PLAN : SOUTH ELEVATION, UNITS 1-4  
SCALE: 1/4" = 1'-0"



PARKING PLAN : NORTH ELEVATION, UNITS 5-9  
SCALE: 1/4" = 1'-0"



PARKING PLAN : WEST ELEVATION, UNITS 1-9  
SCALE: 1/8" = 1'-0"

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FOR ADDITIONAL SPECIFICATIONS, SEE "GENERAL NOTES" ON SHEET 11



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Brammance on Mass  
Peoria, Illinois

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IN THE EVENT OF ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECT'S AND CONTRACTOR'S DRAWINGS, THE ARCHITECT'S DESIGN SHALL PREVAIL.  
Design: BEFORE PROCEEDING WITH WORK.

REVISION DATES

NO.	DATE	DESCRIPTION

SHEET  
12  
OF 12

PROJECT: 17-011  
SCALE: AS INDICATED  
DRAWN BY: Kristi Bruch  
DATE: 01 Dec 2017