

REVISED MEMORANDUM

TO: Leah Allison, Community Development
Scot Wolf, Building Inspections
Officer Kevin Slavens, Police - TOU
Lt. Earnest McCall, Police - Traffic Division
Fire Engineer Charlie Perrin, Fire Prevention Division
Jodi Maybanks, Accounts Receivable
Don Leist, Corporation Counsel
Julie Schmidt, Public Works (Sidewalk Café Requests Only)

FROM: Trina D. Bonds, Deputy Clerk II
Liquor Commission Secretary

DATE: August 21, 2018

SUBJECT: **SITE APPLICATION: Case: 18-14**
Venue Chisca, LLC
d/b/a Venue Chisca
1009 SW Washington
Requesting: Class K (rental hall)
Subclass 2 (live entertainment)
Subclass 3 (beer garden)

The City Liquor Commission has received the attached application for consideration and would like to go before the Commission for a Public Hearing on Monday, October 1, 2018. **Contact person for this application is Michelle Spurgeon (309-208-3712)** if you have questions or need to make arrangements to inspect the interior of the building.

Your comments are DUE: September 20, 2018 so I can forward them to the Commissioners.

- Zoning classification/comments
- Police inspection/comments
- Traffic inspections/comments
- Code inspections/comments
- Fire Safety inspection/comments
- Accounts-fines/liens, etc. outstanding/comments
- Any comments concerning any aspect of the application.

Thanks!

Trina (ext. 8566)
City Clerk's Office

CITY CLERK
PEORIA, IL

2018 AUG 20 PM 3:16

**SITE APPROVAL APPLICATION FOR THE SALE OF ALCOHOLIC BEVERAGES
IN THE CITY OF PEORIA, ILLINOIS**

TO THE MAYOR OF THE CITY OF PEORIA, ILLINOIS, for approval of site location for the purpose of retail sale of alcoholic liquor, pursuant to an ordinance to regulate the sale of alcoholic liquor adopted by the City Council of the City of Peoria on January 2, 1974, and any subsequent amendments thereto:

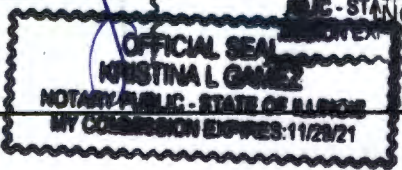
- Name(s), address(es) and phone number(s) of Property Owner(s):
1009 Washington, LLC. 1009 SW Washington St. Peoria, IL 61602
309-696-9531
 - Name, address and phone number of Intended Lessee:
Venue Chisca, LLC 1009 SW Washington St. Peoria, IL 61602
3610 N. Peoria St. Peoria, IL 61603
309-208-3712
 - Street address of Property requested for approval:
1009 SW Washington St. Peoria, IL 61602 Area 3³/₄
Corner
- NOTE: All site approvals are 1st floor only, unless specifically applied for and authorized.**
D/O/A Venue Chisca
- Legal description of Property listed in #3:
Dorst's add SW 1/4 Sec 9-8N-8E Beg Most ely cor Lot 24 Forsyth's
add: etc. ID# 18-09-356-013
 - Are there any improvements (buildings, accessories, etc.) presently on the property?
Yes No If Yes, please give description of same:
Property is being redeveloped at this time
 - Are you planning to build any improvements upon the property? NO If Yes, please indicate such improvements: _____
 - What type of sale of alcoholic beverages is the property to be used for (i.e., tavern, restaurant, package liquor, etc.)? Rental Hall
 - Is this property located in a residential section? Yes No
 - What classification of license are you applying for? (Section 3-52 of the Code of the City of Peoria)
Class: A, B, B1, C, C1, CG, D, E, E-1, G-A, G-B, G-C, I, J, K, K-1, L, M, N K
Subclass: 1, 1A, 2, 2A, 3, 3A, 4, 6, 7, 8, 10, 11, 12 2+B (TBD)
 - Do you plan to add video gaming? Yes No
(Must wait 2 years & show 80% revenue from food & drinks)
 - A site plan **MUST BE SUBMITTED** with this application, see Attachment A.

AFFIDAVIT

I (we) swear that I (we) am (are) the owner(s) of the property described in this application and that the statements contained herein are true and correct.

Subscribed and sworn to before me this 25 day of July 2018
KATIE J. KIM, AGENT FOR 1009 WASHINGTON, LLC
[Signature], agent

Notary Public
[Signature]



OFFICIAL SIGNATURE OF PROPERTY OWNER(S)
NOTARY PUBLIC
NOTE: Non-Refundable \$250 Filing Fee)

LIVE ENTERTAINMENT

APPLICATION FOR SUBCLASS 2 LIQUOR LICENSE

Present License Class K Present License No. _____

Establishment Name: Kenuechise

Address: 1009 SW Washington St. Peoria IL 61602

Type of entertainment: Bonds

1. **AS REQUIRED BY ORDINANCE, attach a list of the names and addresses of the last person to whom taxes were assessed for any property within 300 feet of the proposed site.**
2. **As required, attach a sworn Affidavit that you, as applicant, have caused Notices to be sent to all such property owners.**

AFFIDAVIT

I swear that I am fully informed as to the provisions of the Illinois Liquor Control Laws and the liquor ordinances of the City of Peoria and will not violate any of the laws of the State of Illinois or of the City of Peoria in the conduct of the function described herein; and that the statements contained in this application and any attachments thereto are true and correct.

[Signature]
Signature of Licensee or Agent

Subscribed and sworn to before me this 23 day of August 2018.

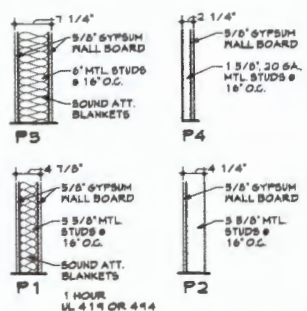
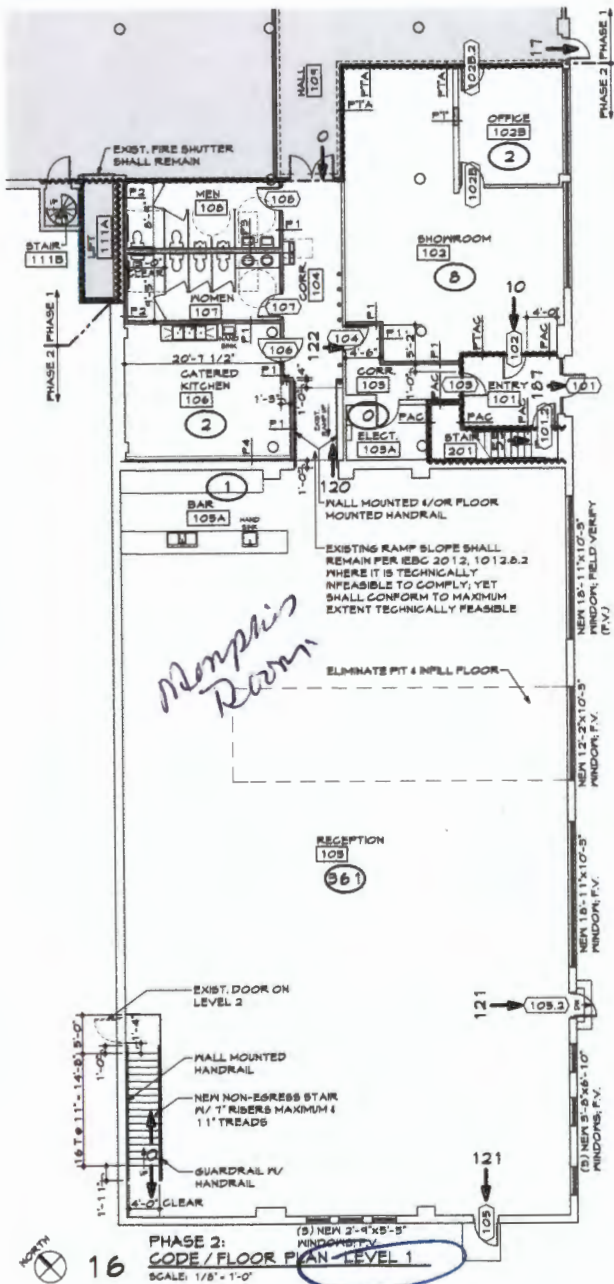
[Signature]
Notary Public



FOR OFFICE USE ONLY:

Application for Subclass 2 is Approved _____ Not Approved _____

Liquor Commissioner / Date



PARTITION TYPES
SCALE: 1" = 1'-0"

PARTITION NOTES:

1. ALL NEW PARTITIONS ARE INDICATED.
2. UNLESS NOTED OTHERWISE, EXTEND ALL PARTITIONS TO UNDERSIDE OF ROOF AND/OR FLOOR DECK ABOVE. SEAL TIGHT TO BOTTOM OF DECK.
3. PROVIDE DEFLECTION HEAD ASSEMBLY FOR ALL METAL STUD PARTITIONS THAT EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
4. EXTEND BOTH FACES OF GYPSUM BOARD AND INSULATION TO UNDERSIDE OF ROOF OR FLOOR DECK FOR ALL INSULATED PARTITION TYPES. SEAL ACOUSTICALLY TO ROOF DECK OR FLOOR DECK. ALL PENETRATIONS SHALL BE SEALED TIGHT TO REDUCE PASSAGE OF SOUND.
5. EXTEND GYPSUM BOARD PARTITION TYPES WITHOUT INSULATION 4" PAST FINISHED CEILING.
6. ALL PARTITIONS WITH SUFFIX 'A' SHALL HAVE A 1 HOUR MINIMUM RATING EXTENDING FROM CONCRETE FLOOR TO ROOF DECK, FLOOR DECK, OR STEEL BEAM ABOVE. PROVIDE FIRE SAFING @ TOPS OF RATED WALLS. INSTALL FIRE SAFING SO THAT IT IS SECURELY RETAINED IN PLACE.
7. ALL PARTITIONS WITH SUFFIX 'B' SHALL BE A SMOKE PARTITION AND SHALL EXTEND FROM CONCRETE FLOOR TO ROOF DECK, FLOOR DECK, OR STEEL BEAM ABOVE. SMOKE PARTITION SHALL BE CAPABLE OF RESISTING THE PASSAGE OF SMOKE. ALL PENETRATIONS SHALL BE SEALED TIGHT.
8. ALL PARTITIONS WITH SUFFIX 'C' ARE EXISTING WALLS THAT WILL BE PATCHED, INFLLED AND/OR EXTENDED SO THAT IT EXTENDS FROM EXISTING FLOOR TO ROOF DECK, FLOOR DECK, OR STEEL BEAM ABOVE TO MEET REQUIRED FIRE RATINGS.
9. PARTITIONS MARKED T ARE AREAS TO BE INFLLED TO MATCH ADJACENT WALLS ON BOTH SIDES. NOTE: NOT ALL INFL. AREAS ARE DENOTED ON THE PLAN.
10. WHERE GYPSUM BOARD PARTITIONS, SOFFITS, CEILING AND FURRING EXCEED 3'-0" IN LENGTH HORIZONTALLY, PROVIDE CONTROL JOINTS (C/J) CENTERED IN PARTITION. ALIGN C/J'S ACROSS FROM ONE ANOTHER IN A PATTERN ACCEPTABLE TO THE ARCHITECT & OWNER.
11. PROVIDE DIAGONAL BRACINGS AS REQUIRED.
12. SEAL ALL PARTITION PENETRATIONS FOR PASSAGE OF SOUND UNLESS INDICATED OTHERWISE.

GENERAL NOTES:

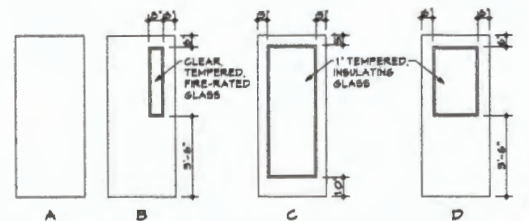
1. DIMENSIONS ARE TO FACE OF EXIST. PARTITIONS, FACE OF NEW MASONRY, AND FACE OF NEW GYPSUM BOARD PARTITIONS UNLESS NOTED OTHERWISE.
2. FIELD VERIFY DIMENSIONS SO THAT NEW FINISHED SURFACES (WITH DRAIN INTENTIONS TO MATCH EXISTING) ALIGN WITH THEIR ADJACENT, EXISTING, FINISHED SURFACES.
3. DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.
4. PROTECT USER'S IMPROVEMENTS AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE, REPLACEMENT OR REPAIR DAMAGED PROPERTY TO CONDITIONS PREVAILING AT BEGINNING OF WORK.
5. CONFER WITH CONTRACTOR(S) REGARDING LOCATION AND SIZES OF PIPES, EQUIPMENT, FIXTURES, CONDUITS, DUCTS OPENINGS, SWITCHES, AND OUTLETS TO ELIMINATE INTERFERENCES BETWEEN INSTALLATION OR PROGRESS OF WORK. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER SEPARATE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
6. SEE SEPARATE CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS.
7. PROVIDE NECESSARY BLOCKING FOR ALL WALL HUNG / ATTACHED ITEMS INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS.
8. REMOVE AND REINSTALL EXISTING CEILING AS REQUIRED TO INSTALL ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT HARD CEILING THAT ARE NEW, REINSTALLED, AND/OR PATCHED. CLEAN OFF FINGERPRINTS.
9. COORDINATE ALL EQUIPMENT MOUNTING PADS AND CURBS INSTALLATIONS. EXTEND ROOF CURBS SO THAT ALL ROOF TOP EQUIPMENT (ASSOCIATED WITH THIS PROJECT) ARE MOUNTED AT A MINIMUM OF 1'-2" ABOVE FINISHED FLOOR.
10. COORDINATE SIZE AND LOCATION OF HOLES AND SLEEVES THROUGH MASONRY AND CONCRETE SLABS WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
11. VERIFY THAT AREAS TO BE COVERED WITH NEW WORK ARE FREE OF MECHANICAL/ELECTRICAL COMPONENTS. RELOCATE COMPONENTS AS REQUIRED.
12. WHERE ITEMS INCLUDING WALLS, FLOORS, FIXTURES, BOARDS, PIPES, EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING ARE REMOVED, PATCH WALLS, FLOORS, CEILING, AND ROOFS, ETC. WITH FINISH MATERIALS THAT MATCH ADJACENT MATERIALS.

DOOR SCHEDULE

NO.	DOOR SIZE	TYPE	MATERIAL		FRAME		FIRE RATINGS	NOTES	NO.
			MATL.	GLSS.	MATL.	GLSS.			
101	8'-0"x7'-0"x1 3/4"	C	ALUM.	1" TEMP.	ALUM.	1" TEMP.		2	101
101.2	8'-0"x7'-0"	---	EXIST.	---	EXIST.	---	1 HOUR	1	101.2
102	8'-0"x7'-0"	---	EXIST.	---	EXIST.	---	1 HOUR	4	102
102B	8'-0"x7'-0"	---	EXIST.	---	EXIST.	---	1 HOUR	1	102B
102B.3	8'-0"x7'-0"	---	EXIST.	---	EXIST.	---	1 HOUR	1	102B.3
103	8'-0"x7'-0"x1 3/4"	B	WOOD	TEMP. & FIRE	STEEL	---			103
104	8'-0"x7'-0"	---	EXIST.	---	EXIST.	---	1 HOUR	1	104
105	8'-0"x7'-0"x1 3/4"	D	ALUM.	1" TEMP.	ALUM.	1" TEMP.		2	105
105.2	8'-0"x7'-0"x1 3/4"	A	ALUM.	---	ALUM.	---		2	105.2
106	8'-0"x7'-0"	A	FLAM.	---	STEEL	---		3	106
107	8'-0"x7'-0"x1 3/4"	A	ALUM.	---	STEEL	---			107
108	8'-0"x7'-0"x1 3/4"	A	WOOD	---	STEEL	---			108

PHASE 2 DOOR NOTES

1. EXISTING DOOR SHALL REMAIN. CLEAN &/OR PAINT.
2. FIELD VERIFY ACTUAL OPENINGS SIZE.
3. DOOR SHALL BE AN ELIASON RESTAURANT DOOR.
4. REMOVE EXISTING FIRE-RATED DOOR AND FRAME. RELOCATE WHERE INDICATED.

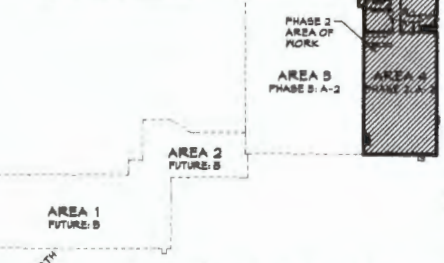


12 DOOR TYPES
SCALE: 3/8" = 1'-0"

CODE SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
22	OCCUPANT LOAD IN A ROOM OR AREA	---	NON-RATED WALLS
11	DIRECTION OF EGRESS TRAVEL AND OCCUPANT LOAD FOR THAT EGRESS COMPONENT	---	1 HOUR FIRE-RATED WALLS
		---	3 HOUR RATED FIRE WALLS
		---	NON-COMBUSTIBLE SMOKE PARTITION DASHED ON SIDE OF SMOKE RESISTING SURFACE

- NOTE:**
1. IT IS ASSUMED THAT THE ENTIRE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THAT MEETS THE IBC 2012 CODE REQUIREMENTS.
 2. TENANT SHALL PROVIDED REQUIRED FIRE EXTINGUISHERS.



PHASE 2: KEY PLAN - LEVEL 1
SCALE: 1" = 30'-0"



99 COMMERCE DRIVE
WORTON, ILLINOIS 62450
TEL: 618-338-4444
FAX: 618-338-5553



PERMIT SET

PROJECT NAME:
PHASE 2: REMODEL



1009 SW Washington
Peoria, IL

SHEET TITLE:

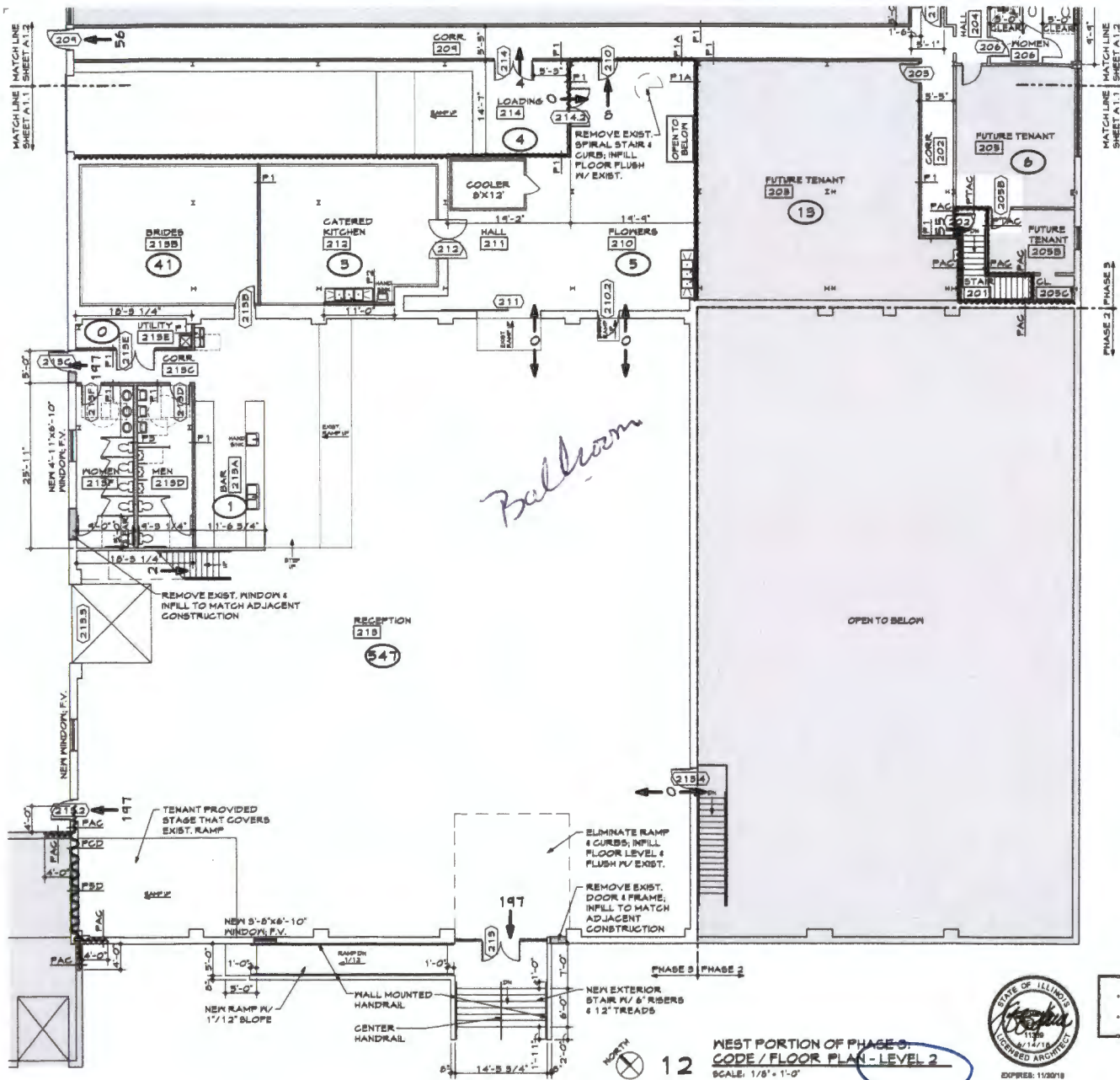
**PHASE 2:
CODE / FLOOR
PLAN - LEVEL 1**

DATE: JULY 6, 2018

PROJECT NO. 18028

SHEET NUMBER

2 A1.1



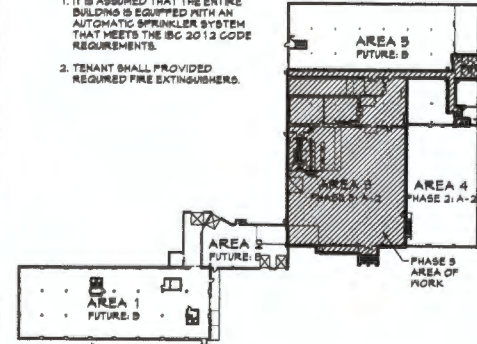
GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF EXIST. PARTITIONS, FACE OF NEW MASONRY, AND FACE OF NEW GYPSUM BOARD PARTITIONS UNLESS NOTED OTHERWISE.
- FIELD VERIFY DIMENSIONS SO THAT NEW, FINISHED SURFACES (WITH DESIGN INTENTIONS TO MATCH EXISTING) ALIGN WITH THEIR ADJACENT, EXISTING, FINISHED SURFACES.
- DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.
- PROTECT USER'S IMPROVEMENTS AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE. REPLACE OR REPAIR DAMAGED PROPERTY TO CONDITIONS PREVAILING AT BEGINNING OF WORK.
- CONFERENCE WITH CONTRACTOR(S) REGARDING LOCATION AND SIZES OF PIPES, EQUIPMENT, FIXTURES, CONDUITS, DUCTS OPENINGS, SWITCHES, AND OUTLETS TO ELIMINATE INTERFERENCES BETWEEN INSTALLATION OR PROGRESS OF WORK. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER SEPARATE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
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- COORDINATE ALL EQUIPMENT MOUNTING PADS AND CURB INSTALLATIONS. EXTEND ROOF CURBS SO THAT ALL ROOF TOP EQUIPMENT (ASSOCIATED WITH THIS PROJECT) ARE MOUNTED AT A MINIMUM OF 12" ABOVE FINISHED ROOF.
- COORDINATE SIZE AND LOCATION OF HOLES AND SLEEVES THROUGH MASONRY AND CONCRETE SLABS WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
- VERIFY THAT AREAS TO BE COVERED WITH NEW WORK ARE FREE OF MECHANICAL/ELECTRICAL COMPONENTS. RELOCATE COMPONENTS AS REQUIRED.
- WHERE ITEMS INCLUDING WALLS, FLOORS, FIXTURES, BOARDS, PIPES, EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING ARE REMOVED, PATCH WALLS, FLOORS, CEILING, AND ROOFS, ETC. WITH FINISH MATERIALS THAT MATCH ADJACENT MATERIALS.

CODE SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
22	OCCUPANT LOAD IN A ROOM OR AREA	---	NON-RATED WALLS
11	DIRECTION OF EGRESS TRAVEL AND OCCUPANT LOAD FOR THAT EGRESS COMPONENT.	---	1 HOUR FIRE-RATED WALLS
		---	3 HOUR RATED FIRE WALLS
		---	NON-COMBUSTIBLE SMOKE PARTITION, DASHED ON SIDE OF SMOKE RESISTING SURFACE

- NOTE:**
- IT IS ASSUMED THAT THE ENTIRE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THAT MEETS THE IBC 2012 CODE REQUIREMENTS.
 - TENANT SHALL PROVIDE REQUIRED FIRE EXTINGUISHERS.



12 WEST PORTION OF PHASE 3: CODE / FLOOR PLAN - LEVEL 2
SCALE: 1/8" = 1'-0"



EXPIRES: 11/30/19

4 PHASE 3: KEY PLAN - LEVEL 2
SCALE: 1" = 30'-0"



99 COMMERCE DRIVE
MORTON, ILLINOIS 62550
TEL: 309-283-8844
FAX: 309-283-8855



PERMIT SET

PROJECT NAME:
PHASE 3: RENOVATION



1009 SW Washington
Peoria, IL

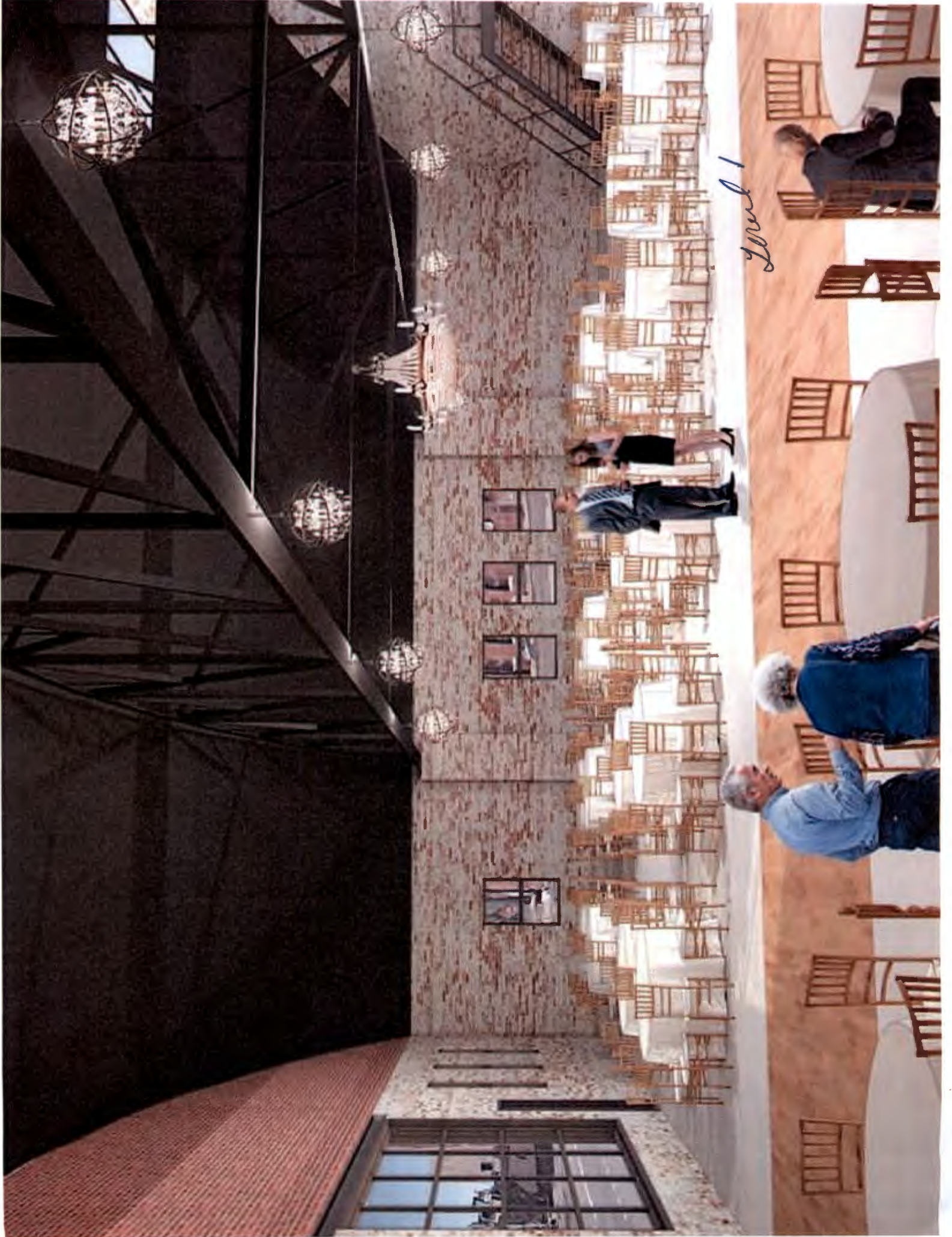
SHEET TITLE:

PHASE 3: CODE / FLOOR PLAN - LEVEL 2

DATE: JULY 6, 2018

PROJECT NO. 18028
SHEET NUMBER

3 A1.1



Level 1



April 2

BEER GARDEN

APPLICATION FOR SUBCLASS 3 LIQUOR LICENSE

Present License Class K Present License No. _____ (\$50.00 filing fee)

Establishment Name: Venue Chisea

Address 1009 SW Washington St Peoria IL 61602

ATTACH a scale drawing showing, specifically:

1. Dimensions and scale drawing of how the area will be confined to restrict noise and prohibit removal of alcohol;
2. a substantial structure across which alcohol shall be served that provides bartenders reasonable protection from patrons unless facility is directly serviced from indoor licensed premises;
3. the locations of (2) exits (one may be through the premises);
4. the location of a landline telephone in beer garden area.

2018 AUG 20 PM 3:17
CITY CLERK
PEORIA, IL
Beth Bonds

AS REQUIRED BY ORDINANCE: attach a list of the names and addresses of the last person to whom taxes were assessed for any property within 300 feet of the proposed site.

Also attach a sworn statement that you, as applicant, have caused notices to be sent to all such property owners.

AFFIDAVIT

I swear that I am fully informed as to the provisions of the Illinois Liquor Control Laws and the liquor ordinances of the City of Peoria and will not violate any of the laws of the State of Illinois or of the City of Peoria in the conduct of the function described herein; and that the statements contained in this application and any attachments thereto are true and correct.

[Signature]
Signature of Licensee or Agent

Subscribed and sworn to before me this 20th day of August, 2018.

[Signature]
Notary Public



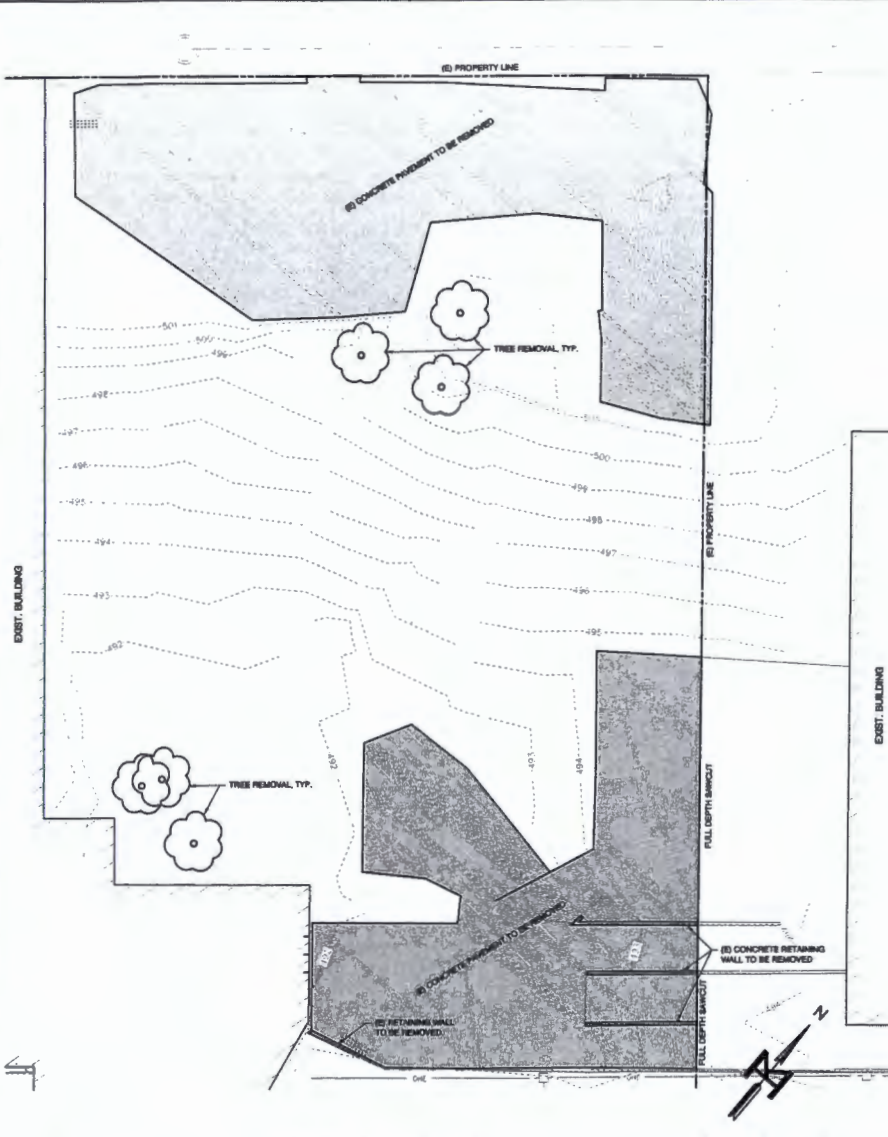
FOR OFFICE USE ONLY

Application for Subclass 3 is APPROVED _____ DENIED _____

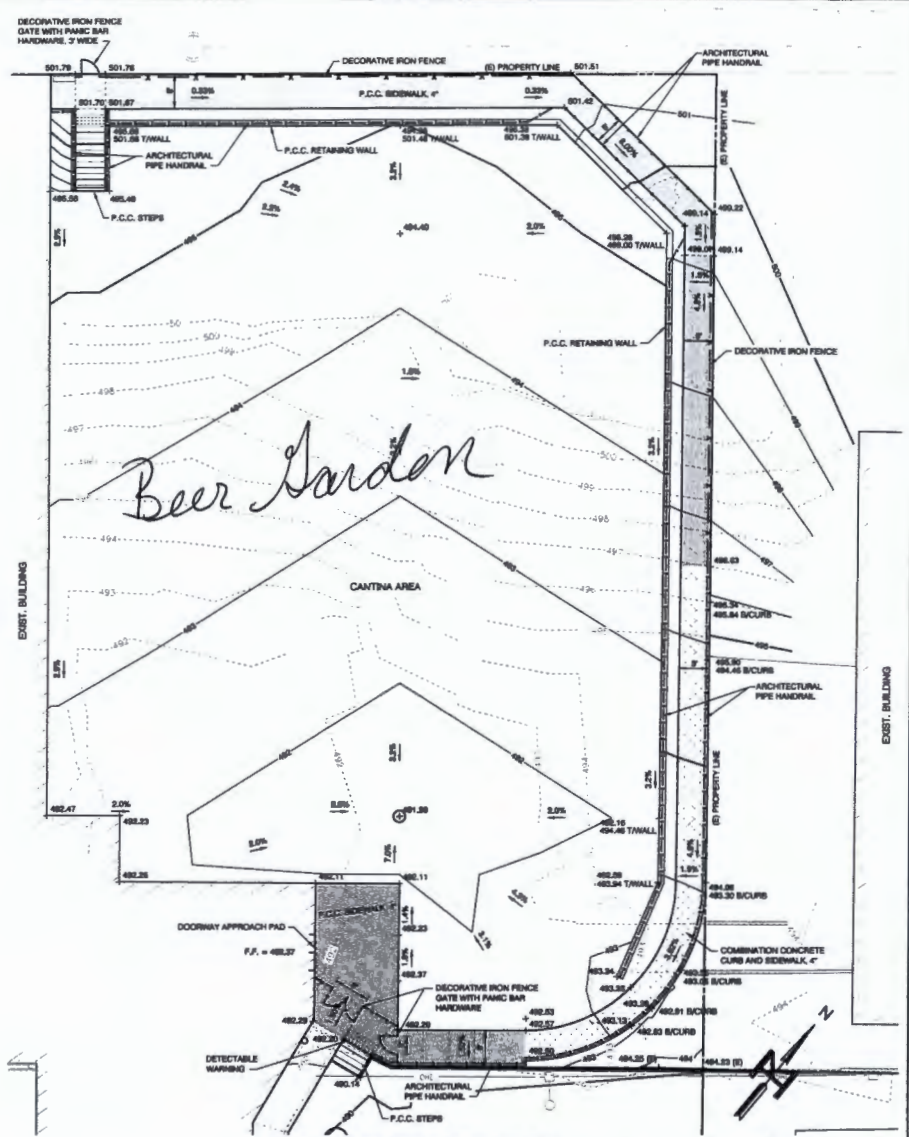
Liquor Commissioner / Date

Special Conditions: _____

adems



CANTINA AREA SITE DEMOLITION PLAN
SCALE: 1" = 10'



CANTINA AREA SITE LAYOUT AND GRADING PLAN
SCALE: 1" = 10'

M MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.
 2001 N. Prospect Road, Suite 605 Office: (309) 662-8000
 Peoria, Illinois 61614 Fax: (309) 662-8501
 www.mohrskerr.com Professional Design Firm #184.000001

DESIGNED	MDP	SURVEYED	MDP
DRAWN	MTH	CHECKED	SKK
SCALE	1" = 10'	DATE	07-30-18
FILE NAME: 4-CANTINA DEMO LAYOUT GRADING PLAN 11-18.dwg, Sep 11, 2018			

CLIENT: **KIM GROUP**
 1009 SW WASHINGTON ST.

TITLE: **CANTINA AREA SITE DEMOLITION, LAYOUT AND GRADING PLAN**

PROJECT NO. 17-198
 SHEET 4 OF 8
 DRAWING NO. 4



PEORIA POLICE DEPARTMENT



September 7, 2018

City of Peoria, Liquor Commission
Office of Corporation Counsel
City of Peoria, Illinois

RE: Site Approval Application #18-14
Venue Chisca, LLC
d/b/a Venue Chisca
1009 SW Washington St.
Requesting: Class K (rental hall)
Subclass 2 (live entertainment)
Subclass 3 (beer garden)

Dear Commissioners,

A site application has been received from *Venue Chisca, LLC*, d/b/a Venue Chisca, 1009 SW Washington St., Peoria, Illinois for a Class K, Subclass 2 and Subclass 3 liquor license. Approval of this application will allow the applicant to operate a rental hall, with a beer garden and host live entertainment at this site. A Class K license also allows the applicant to cater off site.

Officer Kevin Slavens inspected this site which is located on SW Washington Street at the corner of Maple Street in the *Peoria Warehouse District*. This proposed site resides in an established commercial and industrial zoned area of town. The nearest residences to this site are located at the *Persimmon Lofts*, 1028 SW Adams Street. These urban upscale apartments sit adjacent to this location on the corner of SW Adams Street and Persimmon Street to the southwest.

Officer Slavens met with the applicant who told him that she plans to host wedding receptions and other like events at this venue throughout the year. The proposed beer garden is vast in size and is currently in the planning and development stage with the developer of the site while construction continues inside the building.

It appears that this request is appropriate for this location as this proposed site sits in an established commercial area of town and would not be detrimental to the surrounding neighborhood or other businesses. There are no traffic or parking issues raised by this request.

The Peoria Police Department has no objections to this site approval request.

Sincerely,

Loren Marion III
Interim Chief of Police

cc: Deputy Liquor Commissioner
City Clerk
Corporation Council

LM/ks

600 S. W. Adams Street
Peoria, IL 61602-1592
Phone 309.494.8300



CITY OF
PEORIA

Community Development Department

September 17, 2018

City of Peoria, Liquor Commission
Office of the Corporation Counsel
City of Peoria, Illinois

**RE: Site Approval Application 18-14
Venue Chisca, LLC
d/b/a Venue Chisca
1009 SW Washington, Suite K**

**Requesting: Class K (Rental Hall)
Subclass 3 (Beer Garden)**

3

Dear Commissioners:

Building and Zoning staff from the Community Development Department have reviewed the above listed request. Following is a summary of the results:

- 1. The property is currently zoned WH (Warehouse) Form District. A rental hall is a permitted use and a beer garden is a permitted accessory use within this zoning district.**

The Community Development Department recommends approval contingent upon completing on-going construction and issuance of a Certificate of Occupancy.

Sincerely,

Ross Black
Director

City Hall
419 Fulton Street, Suite 300
Peoria, IL 61602
309.494.8600



Fire Department

September 19, 2018

Liquor Commission
Office of Corporation Counsel
City of Peoria, IL

Re: Site Approval Application
Case: 18-14
Venue Chisca, LLC
d/b/a Venue Chisca
1009 SW Washington St.
Requesting: Class K (rental hall)
Subclass 2 (live entertainment)
Subclass 3 (beer garden)

Liquor Commissioners,

A site application has been received from Michelle Spurgon 1009 SW Washington Venue Chisca requesting Class K (rental hall) Subclass 2 (live entertainment) Subclass 3 (beer garden). The above mentioned business has not completed interior construction. This business will be required to meet all applicable fire and life safety codes prior to occupancy.

Your mutual concern for life safety is appreciated.

Engineer Charles A. Perrin
Fire Inspector, Fire Prevention Division
Peoria Fire Department
309.303.8275 - c
309.494.8735 - o
309.494.8777 - f
CPerrin@peoriagov.org

505 NE Monroe
Peoria, Illinois 61603-3767
309/494-8700
FAX: 309/494/8777



NOTICE OF PUBLIC HEARING

The Liquor Commission of the City of Peoria, Illinois will hold a Public Hearing on an application of a Class K Subclass 3 Liquor License for the following described property.

VENUE CHISCA, LLC D/B/A VENUE CHISCA
(name of establishment)
1009 SW WASHINGTON ST.
(address)

FOR USE AS:

REQUEST FOR A CLASS K (RENTAL HALL) LIQUOR
LICENSE WITH A SUBCLASS 3 (BEER GARDEN).

MONDAY - OCTOBER 1, 2018

The Hearing will be held on _____ in Room 404 at City Hall, 419 Fulton Street, Peoria, Illinois at 3:30 p.m., or as soon thereafter as the item can be heard.

Because the proposed location is within 300 feet of the premises owned or occupied by you, you may wish to attend this Hearing.

Objections may be heard at the meeting or submitted in writing to the Secretary of the Liquor Commission, City Hall, 419 Fulton, Room 401, Peoria, IL 61602.

Information concerning the application is available in the City Clerk's Office, City Hall, Room 401, or by calling the Secretary of the Liquor Commission at (309) 494-8566. Be advised that certain information is restricted under the requirements of the Freedom of Information Act.

Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614

J P Riverfront LLC
100 State St
Peoria Il 61602

Fredman Bros Furniture Co Inc
908 Sw Washington St
Peoria Il 61602

Cast Technologies Peoria Inc
C/O William B Mehlenbeck P O Box 959
Peoria Il 616530959

~~J P Riverfront LLC
100 State St
Peoria Il 61602~~

~~Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614~~

Burlington Northern & Santa Fe
Railway Company
Property Tax Department P O Box
961089
Fort Worth Tx 761610089

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Railway Company
Property Tax Department P O Box
961089
Fort Worth Tx 761610089~~

~~Burlington Northern & Santa Fe
Railway Company
Property Tax Department P O Box
961089
Fort Worth Tx 761610089~~

J P Riverfront LLC
100 State St
Peoria Il 61602

Tobln, Chris R
203 Fern Rd
Syracuse Ny 132192331

~~Tobin, Chris R
203 Fern Rd
Syracuse Ny 132192331~~

Langston Bag of Peoria LLC
P O Box 60
Memphis Tn 381010060

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P O Box 60
Memphis Tn 381010060~~

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P O Box 60
Memphis Tn 381010060~~

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P O Box 60
Memphis Tn 381010060~~

~~Burlington Northern & Santa Fe
Railway
Property Tax Department P O Box
961089
Fort Worth Tx 761610089~~

Harms Properties LLC
C/O John T Harms 9153 N Picture
Ridge Rd
Peoria Il 61615

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C/O John T Harms 9153 N Picture
Ridge Rd
Peoria Il 61615~~

~~Harms Properties LLC
C/O John T Harms 9153 N Picture
Ridge Rd
Peoria Il 61615~~

~~Harms Properties LLC
C/O John T Harms 9153 N Picture
Ridge Rd
Peoria Il 61615~~

Harms, Jay E
1529 Westaire
Peoria Il 61614

Persimmon Lofts LLC
C/O Trevor Holmes 401 Main St Suite
110
Peoria Il 61602

Wahlfelds LLC
C/O John B Wahfeld P O Box 578
Peoria Il 616510578

~~Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614~~

Magna Trust Company
107 Sw Jefferson Ave
Peoria Il 61602

Black Band LLC
12202 N Woodridge Ct
Dunlap Il 61525

~~Wahlfelds LLC
C/O John B Wahfeld P O Box 578
Peoria Il 616510578~~

~~J P Riverfront LLC
100 State St
Peoria Il 61602~~

E & M Properties Peoria LLC
1028 Sw Washington St
Peoria Il 61602

24

~~Tobin, Chris R
203 Fern Rd
Syracuse Ny 132192331~~

~~Harms Properties LLC
C/O John T Harms 9153 N Picture
Ridge Rd
Peoria Il 61615~~

~~Aoa Management Company Ltd
2802 Paces Ferry Rd Se Suite 200
Atlanta GA 30339~~

~~Langston Bag of Peoria LLC
P O Box 60
Memphis Tn 381010060~~

~~Langston Bag of Peoria LLC
P O Box 60
Memphis Tn 381010060~~

~~Langston Bag of Peoria LLC
P O Box 60
Memphis Tn 381010060~~

~~Evans, Justin W
351 Rusche St
Creve Coeur Il 61610~~

~~E & M Properties Peoria LLC
1028 Sw Washington St
Peoria Il 61602~~

~~Regions Bank
1020 Sw Jefferson Ave
Peoria Il 61605~~

~~Wbm LLC
P O Box 959
Peoria Il 616530959~~

~~1009 Washington LLC
P O Box 3794
Peoria Il 616123794~~

~~Chic Lofts LLC
1001 Sw Adam St
Peoria Il 61602~~

~~J P Riverfront LLC
100 State St
Peoria Il 61602~~

~~Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614~~

~~Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614~~

~~Chic Lofts LLC
1001 Sw Adam St
Peoria Il 61602~~

~~Persimmon Lofts LLC
C/O Trevor Holmes 401 Main St Suite
110
Peoria Il 61602~~

~~Tobin, Chris R
203 Fern Rd
Syracuse Ny 132192331~~

~~Chic Lofts LLC
118 W Northgate Rd
Peoria Il 61614~~

~~Kulavic, Jay
900 Sw Adams St
Peoria Il 616021609~~

~~Black Band LLC
12202 N Woodridge Ct
Dunlap Il 61525~~

~~Ptnr, Van Bus
926 Sw Washington St
Peoria Il 61602~~

~~Epic Peoria LLC
5804 W War Memorial Dr
Peoria Il 61615~~

~~J P Riverfront Development Companies
Inc
100 S State St
Peoria Il 61602~~

~~Persimmon Lofts LLC
C/O Trevor Holmes 401 Main St Suite
110
Peoria Il 61602~~

~~E & M Properties Peoria LLC
1028 Sw Washington St
Peoria Il 61602~~

~~Sr Property Holdings LLC
328 High Point Rd
Peoria Il 61614~~

STATE OF ILLINOIS)
) ss
COUNTY OF PEORIA)

AFFIDAVIT

Michelle Spurgeon, being duly sworn, does hereby swear/affirm that:

1. I am the Liquor Licensee of Venue Chisca
(establishment name)

located at 1009 SW Washington St, Peoria, Illinois.
(address)

2. On 8-21-18, I caused Notices of Hearing to be mailed to all property owners within 300 feet of my liquor establishment.

3. I have attached, the list of property owners and their addresses to whom I mailed Notices to this Affidavit.

FURTHER AFFIANT SAYETH NOT.

[Handwritten Signature]
(Signature of Liquor Licensee)

Subscribed and sworn to before me
this 20th day of August,
2018.

Torina D. Bonds
Notary Public

